

1. PZC Agenda 2020-09-10

Documents:

[PZC AGENDA 2020-09-10.PDF](#)

2. PZC Special Meeting Summary 08 27 2020

Documents:

[PZC SPECIAL MEETING SUMMARY 08 27 2020.PDF](#)

3. Item A - 2019 Planning Annual Report (September)

Documents:

[ITEM A - 2019 PLANNING ANNUAL REPORT \(SEPTEMBER - COMBINE\).PDF](#)

4. Item B - Proposed Site Development Plan For Royal Farms

Documents:

[ITEM B - PROPOSED SITE DEVELOPMENT PLAN FOR ROYAL FARMS.PDF](#)



PLANNING AND ZONING COMMISSION AGENDA

Thursday, September 10, 2020, at 7:00 PM

Virtual Meeting:

<https://www.facebook.com/westminstermd/>
www.WestminsterMD.gov

I. Call to Order

II. Approval of Minutes

August 27, 2020

III. New Business

Item A. 2019 Carroll County Planning Annual Report (Mr. Gray and Mr. Spaid)

Request: Staff requests the Planning and Zoning Commission members review and provide any feedback that they may have regarding the Annual Report before September 24, 2020.

Item B. Site Development Plan S-18-0012, Royal Farms Store #323 (Ms. Gerhard)

Applicant: Corporate Leasing, LLC.
8601 Lasalle Road, Suite 204, Towson, Maryland 21286

Owner: Corporate Leasing, LLC.
8601 Lasalle Road, Suite 204, Towson, Maryland 21286

Engineer: Kimley-Horn
1801 Porter Street, Suite 401, Baltimore Maryland 21230

Request: Site Development Plan approval to develop a convenience store with gasoline

Item C. Carroll County Liaison Report (Mr. Spaid)

IV. Old Business

V. Information Item

VI. Planning Commission and Public Comments

VII. Adjournment

Request for decorum and order

The Chair and Commissioners would like to thank you in advance for your respectful behavior and for your thoughtful consideration of the views of your neighbors, applicants, and the Commission.

Members of the public attending meetings of the Planning and Zoning Commission are asked to maintain propriety, decorum, and good conduct. Any person making personal, impertinent, or slanderous remarks, or who may become boisterous while addressing the Commission, or who may become boisterous in the room while attending the Commission meeting, will be asked to leave the room by direction of the presiding officer. Unauthorized remarks from the audience, stamping of feet, whistles, yells, and other similar demonstrations will not be permitted by the presiding officer. Offending parties will be asked to remove themselves from the meeting room.



PLANNING AND ZONING COMMISSION SPECIAL MEETING SUMMARY

Thursday, August 27, 2020, at 6 PM

Virtual Meeting via Zoom
Westminster, Maryland 21157

A meeting of the Westminster Planning and Zoning Commission was held virtually via Zoom and broadcasted live on the City Facebook Page, on August 27, 2020, at 6 PM.

Chair Ross Albers, Commissioner Lyndi McNulty, and Councilmember Ben Yingling were present. City staff members Mark Depo and Andrew Gray were also present.

The following members of the public were present: None.

Chair Albers requested a motion to approve the meeting summary from August 13, 2020. Councilmember Yingling motioned to approve the meeting summary. Commissioner McNulty seconded. The motion passed 3-0.

Chair Albers opened New Business Item A – Ordinance No. 926 – To replace references to the “Parks Board” in the City Zoning Ordinance with references to the “Director of Recreation and Parks”. Mr. Depo provided background information and staff recommendation that the Commission review and provide a recommendation to the Mayor and Common Council regarding proposed Ordinance No. 926.

Commissioner McNulty made a motion that the Planning and Zoning Commission forward a positive recommendation that the Mayor and Common Council approve Ordinance No. 926. Chair Albers seconded the motion. The motion passed 2-0. Councilmember Yingling abstained from voting due to the Ordinance going before the Mayor and Common Council for approval.

Mr. Gray stated that Carroll County staff will bring the draft Planning Annual Report for review during the September meeting. Ms. Schlitzer stated that comments and questions regarding the meeting can be emailed to Planning@westgov.com.

Councilmember Yingling moved to adjourn. Commissioner McNulty seconded. The Commission adjourned at 7:08 PM.



To: Westminster Planning and Zoning Commission

From: Andrew R. Gray, Comprehensive Planner

cc: Mark A. Depo, Director of Community Planning and Development
Andrea Gerhard, Comprehensive Planner
Cody Spaid, Comprehensive Planner, Carroll County Department of Planning

Date: September 4, 2020

Subject: Draft 2019 Carroll County Planning Annual Report

BACKGROUND

Every year, the Department of Community Planning and Development forwards the State-required reporting information to the Carroll County Department of Planning for inclusion in the Carroll County Planning Annual Report (Annual Report). The Annual Report is required by Section 1-207 of the Land Use Article of the Annotated Code of Maryland. County Planning coordinates, collects, and assembles the reporting information from the eight municipalities and the County into a combined Report. The Annual Report is then sent to the Maryland Department of Planning.

Draft 2019 Annual Reporting Information was provided to the Carroll County Department of Planning on Friday, March 6, 2020 and one subsequent revision was sent on March 31, 2020 (attached) in order for County staff to format and combine the information into Countywide maps, Countywide data calculations, and the Annual Report.

The County has provided the following draft Annual Report so the Commission and City staff can review and provide County staff any feedback that we may have. If the Commission or any individual Commissioners have any feedback, please email me at agray@westgov.com so I can provide your comments to County staff.

The final Annual Report will be presented to the Commission in October for approval. If approved, the Commission Chair will subsequently sign a letter acknowledging Planning and Zoning Commission approval, which will be included in the final Annual Report with the other eight municipal approval letters.

REQUEST

Staff requests the Planning and Zoning Commission members review and provide any feedback that they may have regarding the Annual Report before September 24, 2020.

ATTACHMENT

1. 2019 Carroll County Planning Annual Report (Draft)
2. Revision 1 (March 31, 2020)

Amendments & Growth Related Changes in Development Patterns

New Plans Adopted & Plan Amendments Adopted

The 2014 Carroll County Master Plan was amended in 2019, the 2019 Water Sewer Plan adopted, and the Bicycle Pedestrian Plan was approved in 2019. In addition to this, there was an adopted Comprehensive Plan Elements in the Westminster Comprehensive Master Plan.

2014 Carroll County Master Plan – 2019 Amendment

On December 12, 2019 the Board of County Commissioners hosted a Public Hearing for the 2019 Amendments to the 2014 Master Plan. These changes include:

1. ***General:***

- Boundaries of all maps adjusted as result of contraction of Designated Growth Area (DGA) boundary in 2018 Freedom Community Comprehensive Plan (FCCP)
- Updated maps to reflect Municipal Growth Area (MGA) annexations/Master Plan updates in Hampstead, Manchester, Mount Airy, Taneytown, and Westminster

2. ***Chapter 7: Transportation***

- Updated Tables and Maps for Planned Roads and Improvements to reflect roads that have been removed from the plan, roads that have been completed, roads that have been partially completed, new roads added and roads that changed
- Enhanced Transportation Recommendations

3. ***Chapter 13: Environmental Resources***

- Updated text to cite appropriate updated code references
- Insertion of section on Solar Energy, including two new recommendations

4. ***Chapter 16: Land Use & Growth Management***

- Update of text and table statistics because of contraction of DGA boundaries in the Freedom area
- Update text and tables because of removal of Very Low Density (VLD) designation
- Update Future Land Use map and added new section regarding Municipal Growth Areas (MGA), to clarify the policy regarding development in the MGAs.

5. ***Appendix B: Existing and Future Land Use Definitions***

- Updated land use definitions to be consistent with the 2018 Freedom Community Comprehensive Plan

Amendments & Growth Related Changes in Development Patterns

6. *Appendix C: Generalized Future Land Use*

- Added map that shows the Future Land Use in all areas of the County

2019 Water & Sewer Master Plan

On December 18, 2018, the Planning and Zoning Commission, along with the County's eight municipalities, certified consistency of the Triennial Update to the Carroll County Water and Sewer Master Plan, and forwarded it to the Board of County Commissioners for a public hearing on February 7, 2019.

The Board of County Commissioners Adopted this plan on February 21, 2019, and forwarded it on to the Maryland Department of the Environment. The plan was Approved by the Maryland Department of the Environment on July 22, 2019.

State law requires the Plan to be updated every three years. Updates have been made to maps, data, figures, and relevant supporting information. The Plan covers all areas of the County, including community water supply and sewerage systems, and planned service areas including maps of these areas

2019 Bicycle-Pedestrian Master Plan

The 2019 Bicycle Pedestrian Master Plan was approved by the Planning & Zoning Commission of Carroll County on November 19, 2019 (Resolution No. 2 - 19).

The Plan's Vision is:

“Carroll County is a diverse community made up of suburban centers, towns, rural areas, places of recreation and heritage destinations that are well connected in a safe and efficient manner to enable recreational choices and transportation options.”

In order to achieve this vision, the Plan has 7 Goals, which are as follows:

Goal 1

Identify and assess existing bicycle and pedestrian facilities and networks.

Goal 2

Identify a hierarchy of key connections and destinations within Carroll County.

Goal 3

Support walkable and bikeable communities to achieve sustainability, livability, health and economic benefits, including tourism opportunities.

Goal 4

Place a greater emphasis on walking and bicycling in all planning and development processes.

Amendments & Growth Related Changes in Development Patterns

Goal 5

Develop and construct bicycle and pedestrian facilities to effectively balance the needs of all transportation users to promote travel choices, ensuring that bicyclist and pedestrian needs are prioritized in appropriate locations and with safety in mind.

Goal 6

Leverage and utilize, to the greatest extent possible, state and federal funding for improvements to existing bicycle and pedestrian facilities as well as construction of new bicycle and pedestrian infrastructure in a way that will yield the greatest impact on the County as a whole.

Goal 7

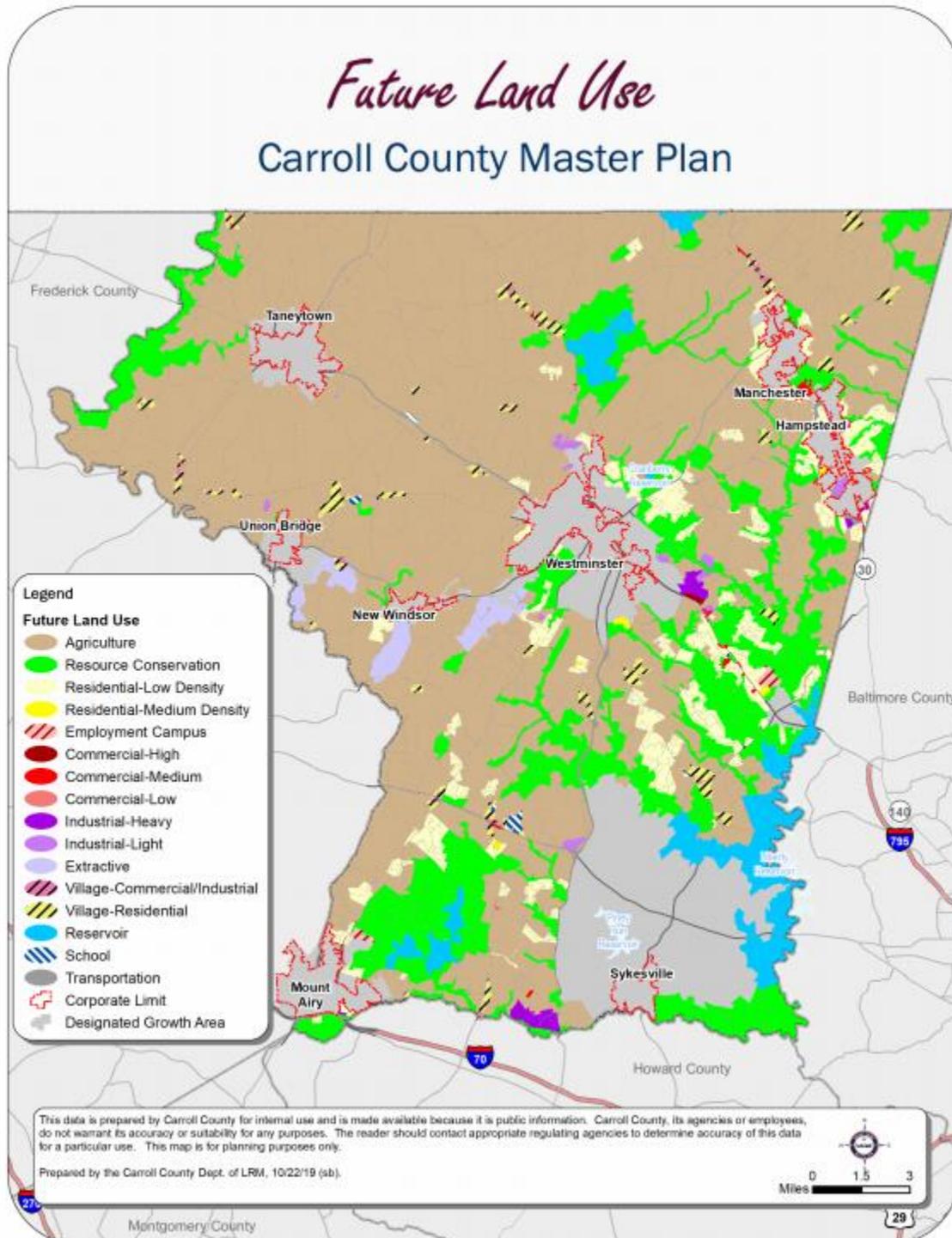
Work with local elected officials, government agencies, and the community to promote and emphasize bicycle and pedestrian safety training and outreach.

2009 Westminster Comprehensive Plan (Amendment)

(Resolution No. 19-02) On December 7, 2012, the City of Westminster administratively adopted a Growth Tier Map, pursuant to Title 1, Subtitle 5, of the Land Use Article of the Annotated Code of Maryland. The addition of the Growth Tier Map to the 2009 Comprehensive Plan was recommended by the Westminster Planning and Zoning Commission on December 14, 2017, as part of its Mid-Cycle Review in 2017. The amendment included this map in the Comprehensive Plan with new areas annexed into the City, since 2012, with the corresponding tiers applied to the new areas accordingly. In 2019, the Westminster Planning and Zoning Commission held an advertised public hearing on the proposed plan amendment. Comments were received from the Carroll County Planning Department and Maryland Department of Planning which were included in the record and approved by the Westminster Planning and Zoning Commission.

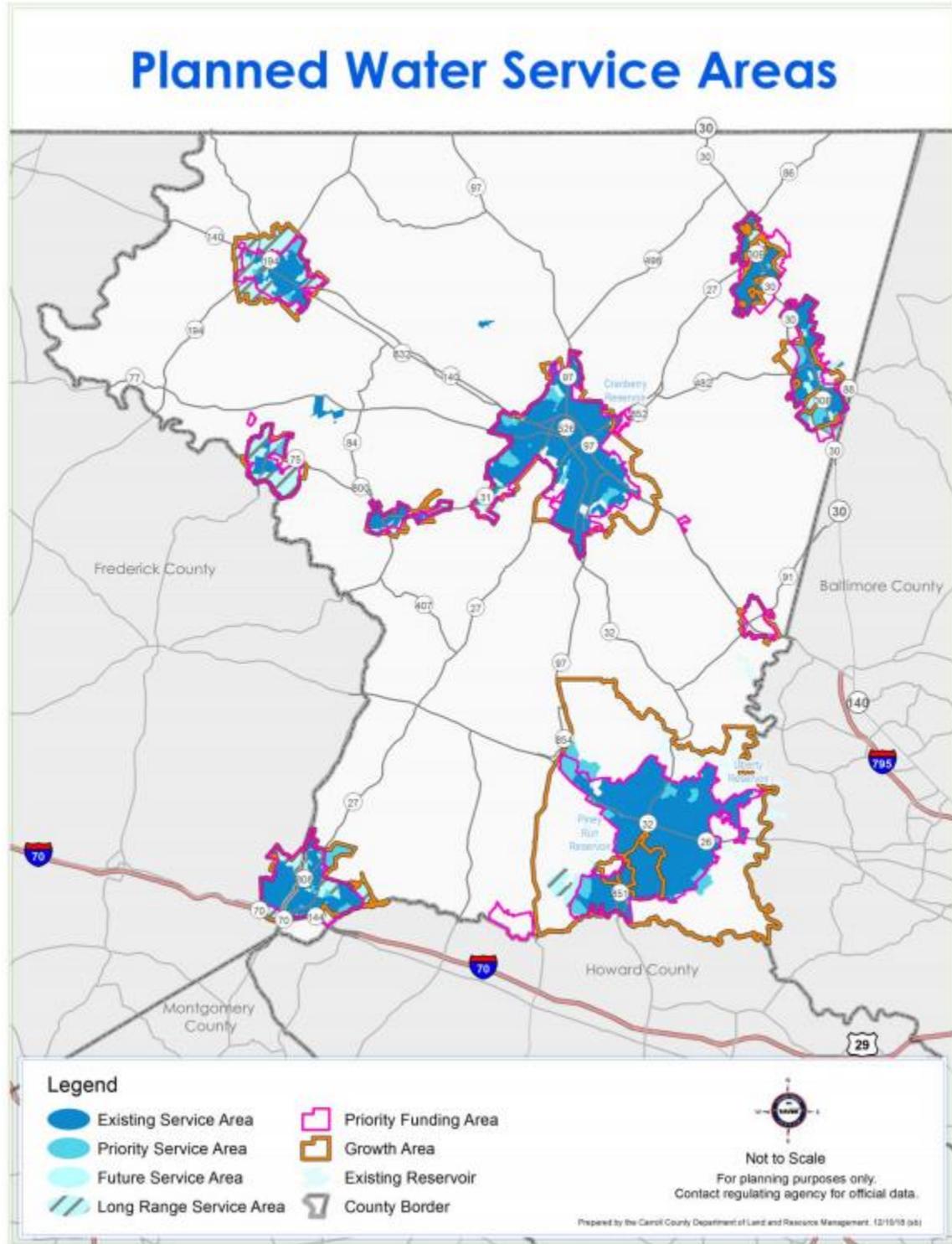
Amendments & Growth Related Changes in Development Patterns

Map 1: Carroll County Future Land Use Map



Amendments & Growth Related Changes in Development Patterns

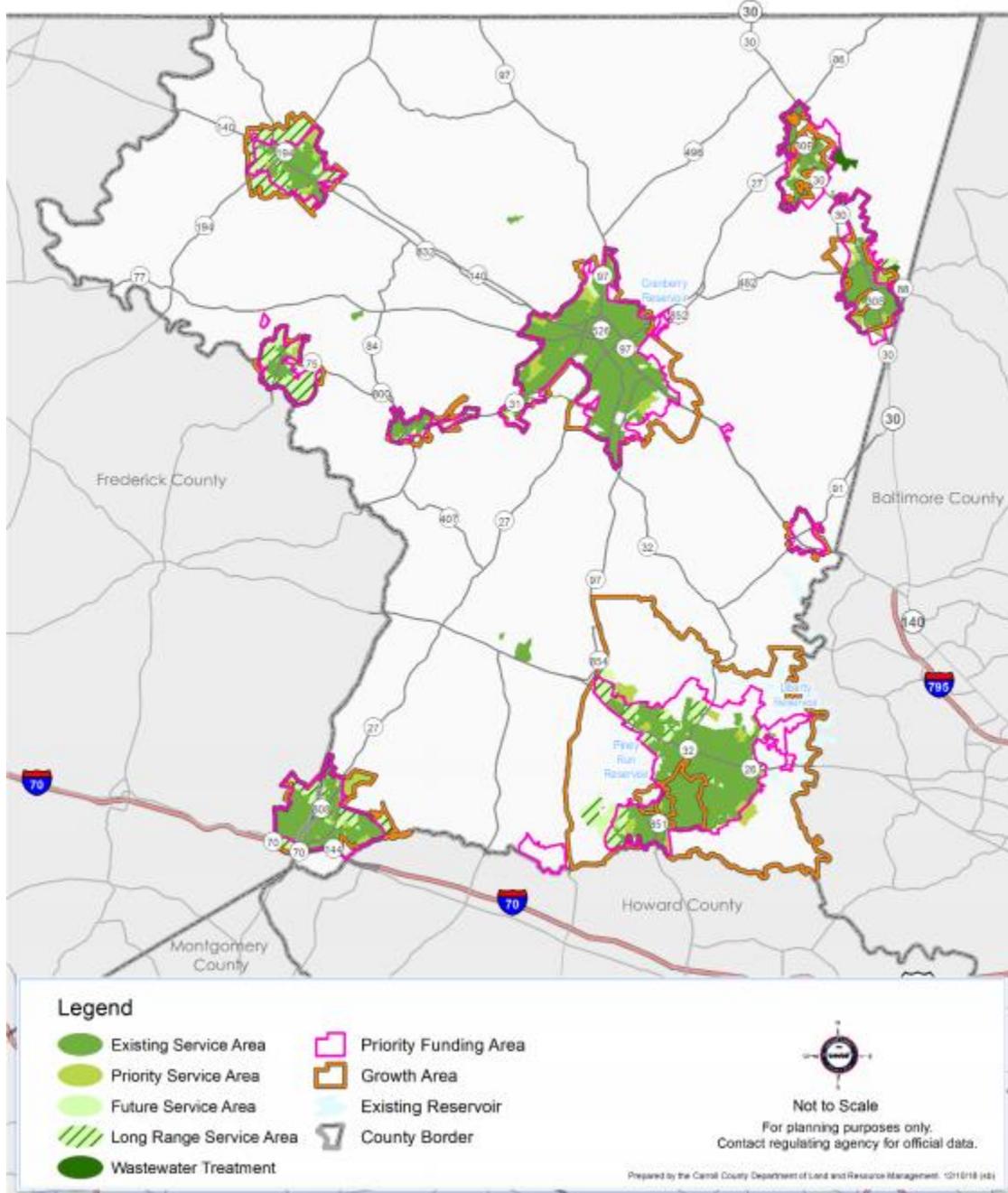
Map 2: 2019 Water Master Plan



Amendments & Growth Related Changes in Development Patterns

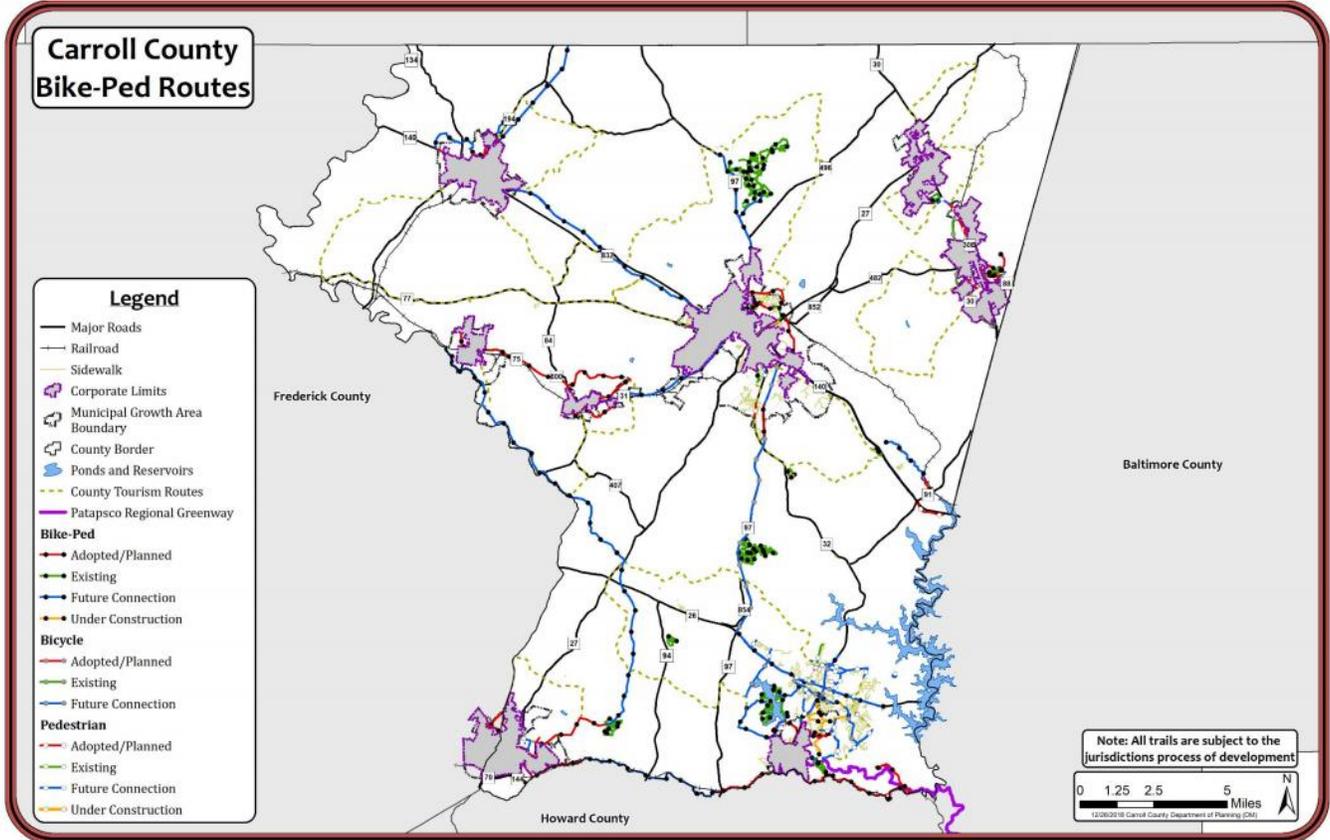
Map 3: 2019 Sewer Master Plan

Planned Sewer Service Areas



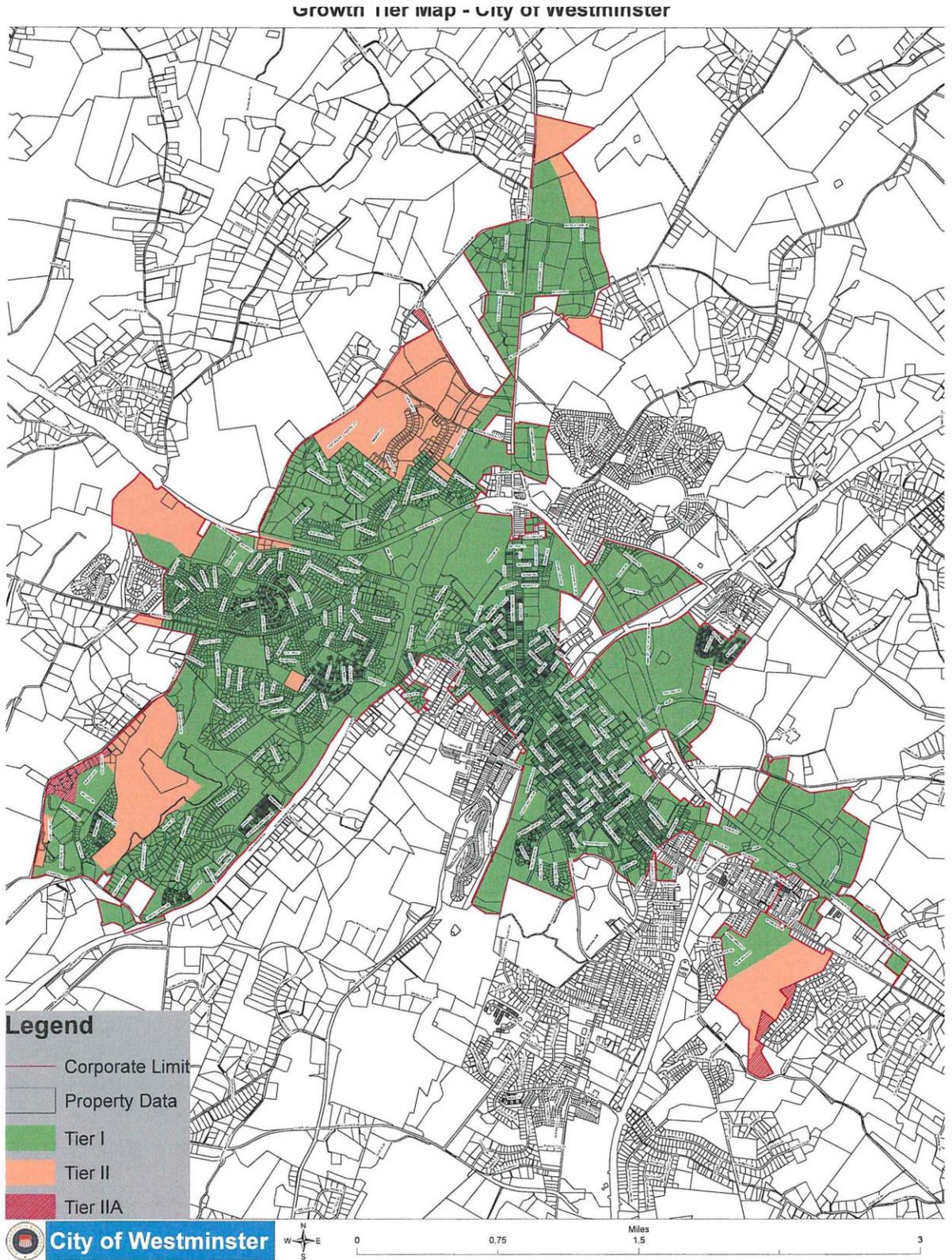
Amendments & Growth Related Changes in Development Patterns

Map 4: 2019 Bicycle-Pedestrian Master Plan



Amendments & Growth Related Changes in Development Patterns

Map 5: City of Westminster Growth Tier Map



Amendments & Growth Related Changes in Development Patterns

Subdivisions and Site Plans Approved

County Subdivisions and Site Plans Approved

The following tables (Tables 1 and 2) list all new subdivisions and site plans in the County that received final approval during calendar year 2019. Map 6 on Page 13 shows the location of these subdivisions and site plans. During 2019, 34 plans were approved in the unincorporated parts of the County, involving a gross total of roughly 443 acres. The tables also include residential and commercial site plans and subdivisions that were amended, expanded, or resubdivided.

Table 1 - County Residential Site Plans and Subdivisions 2019

Location # (Map_)	Name	Lots	Units	Acres	Zone	Election District
1	Blue Ridge Horizon	1	1	6.38	Agriculture	10
2	Runway Estates	1	1	19.5	Agriculture	10
3	Panos Estates	1	1	2.4	R-10,000	4
4	Childs Acres	1	1	1.98	Agriculture	1
5	Hedchar Estates Resubdivision of Parcel B	4	4	17.13	Conservation	14
6	Barnesville Manor, Future Lot 3, Amended	1	1	1.02	R-40,000	9
7	Academy Acres, Section 2, Resubdivision of Parcel 2	1	1	11.37	Conservation	4
8	Ruby Run, Resubdivision of Lot 4	1	1	14.96	Conservation	7
9	Presidential Park	2	2	13.81	Agriculture/Conservation	14
10	Sanner Estates Section 3	1	1	1.1	Agriculture	14
11	Morgan Brook Farm	3	3	9.2	Agriculture	9
12	Mineral Hill Property	14	14	9.27	R-20,000	5
13	Garrett Dale	2	2	4.7	Agriculture/Conservation	9
14	Hearl's Farm (formerly Condon Property)	5	5	9.2	Agriculture	9
15	Rose Acres Resubdivision of Lot 1A	1	1	9.9	Conservation	9
16	Heird Ridge & Amended Plat of Lot 1 of Buchman Ridge	5	5	12.3	Agriculture	8
17	Emray Acres	1	1	3.03	Agriculture	9
18	Dandelion Ridge	1	1	14.5	R-40,000	5
46 lots/46 units/ 161.75 acres						

Source: Bureau of Development Review

Amendments & Growth Related Changes in Development Patterns

Table 2 - County Commercial & Industrial Site Plans and Subdivisions 2019

Location # (Map_)	Name	Type	Acres	Zone	Election District
19	South Carroll Gateway Industrial Park, Lot 5	Commercial	1.72	General Industrial	14
20	Roy's Body Shop	Commercial	1.751	Industrial Restricted	14
21	South Carroll High School Ground Mount Photovoltaic Facility	Industrial	6.4	Conservation/Agriculture	9 & 14
22	Suffolk West, Resubdivision of Lot 5	Commercial	1.2765	Neighborhood Retail Business/R-40,000	4
23	Carroll Hospital Center Access Drive	Commercial	6.48	R-20,000	7
24	South Carroll Gateway Industrial Park Lot 2	Commercial	4.52	General Industrial	14
25	Carroll Hospital Center Rehabilitative Services Building Expansion	Commercial	39.17	R-20,000	7
26	Kabik Korner	Commercial	17.69	Agriculture	14
27	South Carroll Gateway Industrial Park, Lot 6	Commercial	1.6527	General Industrial	14
28	Target Community & Education Services, 2nd Amended	Commercial	4.924	R-20,000	7
29	Deer Park Field	Commercial	40	Agriculture	4
30	Westminster Veteran's Memorial Park	Commercial	32.697	R-20,000	7
31	Carroll Hospital Center Nursing Facility	Commercial	39.17	R-20,000	7
32	Mausoleum at Lake View Memorial Park, Amended	Commercial	78.98	Conservation	5
33	M.G. Fulton Services	Commercial	1	Agriculture/R-40,000/Conservation	14
34	One-Forty Mini Storage	Commercial	4.975	General Business	4
282.41 acres					

Source: Bureau of Development Review

Amendments & Growth Related Changes in Development Patterns

Municipal and Site Plans Approved

Municipal Subdivisions and Site Plans Approved

Tables 3 and 4 list all new subdivisions and site plans in the Municipalities that received final approval during the calendar year of 2019. The locations of these subdivisions and site plans are also shown on Map 6. During 2019, a total of 14 substantive plans were approved in the Municipalities, covering approximately 62 acres.

Table 3 – Municipal Residential Site Plans and Subdivisions 2019						
Location # (Map 3)	Name	Lots	Units	Acres	Zone	Municipality
35	Riley's Garden	3	3	0.6695	R-7500	Manchester
36	Snader's Summit Phase 1 Residential Subdivision	41	41	14.55	R-5	New Windsor
37	Shannon Run Lot 59A and 86 (Resubdivision of 1 lot to 2 lots)	2	1	3.88	R-20,000	Sykesville
38	Boulder Hill Estates Amendment to Lot 3 & Resubdivision of Lot 4	2	1	1.4457	R-20,000	Sykesville
39	Stonegate – Section Three	38	38	16.6355	R-10,000/R-20,000	Westminster
86 lots/ 84 units / 37.1807 acres						

Source: Bureau of Development Review

Amendments & Growth Related Changes in Development Patterns

Table 4 – Municipal Commercial & Industrial Site Plans and Subdivisions					
2019					
Location # (Map 3)	Name	Type	Acres	Zoning	Municipality
40	4100 Twin Arch Road	Industrial	0.21	Industrial	Mount Airy
41	Twin Arch Business Park, Section IV, Lot 19 – Service Masters Restoration by Cross	Industrial	1.4933	Industrial	Mount Airy
42	Twin Arch Business Park, Section IV, Lot 12A – Altimate Electric LLC	Industrial	3.82	Industrial	Mount Airy
43	Maryland Compassionate Care and Wellness	Industrial	9.82	Restricted Industrial	Taneytown
44	Warfield Parcel D Building F	Configuration change to the parking lot	0.63	Planned Employment Center	Sykesville
45	Westminster Technology Park Lot 5A	Industrial	9.529	P-I: Planned Industrial	Westminster
46	City of Westminster Administration Offices	Mixed Use	0.8961	MUI: Mixed Use Infill and C-B: Central Business	Westminster
47	Westminster Library Basement Improvements	Commercial	1.3057	C-B: Central Business	Westminster
48	Shoppes at Meadow Creek Parcel C-7	Commercial	2.42922	NC: Neighborhood Commercial	Westminster
49	Final Plat of K & G Properties, LLC	Commercial	5.2655	B: Business	Westminster
25.57882 acres					

Source: Bureau of Development Review

Amendments & Growth Related Changes in Development Patterns

Map 6: Subdivisions and Site Plans Approved

Amendments & Growth Related Changes in Development Patterns

Zoning Map Amendments

Zoning Map Amendments

Rezoning

County

On December 12, 2019, the Board of County Commissioners adopted **Ordinance 2019-08**, which comprehensively rezoned 1,479 properties. This rezoning was part of a larger Master Plan implementation effort to convert all commercial and industrial properties from the existing business and industrial districts to the six new zoning categories: C-1, C-2, C-3, Employment Campus, I-1 and I-2. Table 5 summarizes these rezonings.

Taneytown

Ordinance 07 – 2018 – Zoning Map Correction of 2019 passed 01/14/2019: Corrected mapping error for properties proximate to Mill Ave which were shown as Downtown Business on the 2010 Comprehensive Plan / Land Use map but were omitted with the subsequent comprehensive zoning update. The map amendment also added properties on Stumptown Road and between Fringer Road and MD 194 that were annexed since the previous zoning map was adopted

Annexations

Hampstead

On December 10, 2019, Hampstead passed Annexation Resolution 42 to annex .4591 acres, zoned R-10,000. Table 6 details this annexation.

Table 5 – Rezoning

2019

Comprehensive Rezoning	# of Parcels	Total Acres
C-1	326	210
C-2	665	1,026
C-3	60	325
Employment Campus	25	847
I-1	285	1,853
I-2	118	1,523

Source: Department of Planning

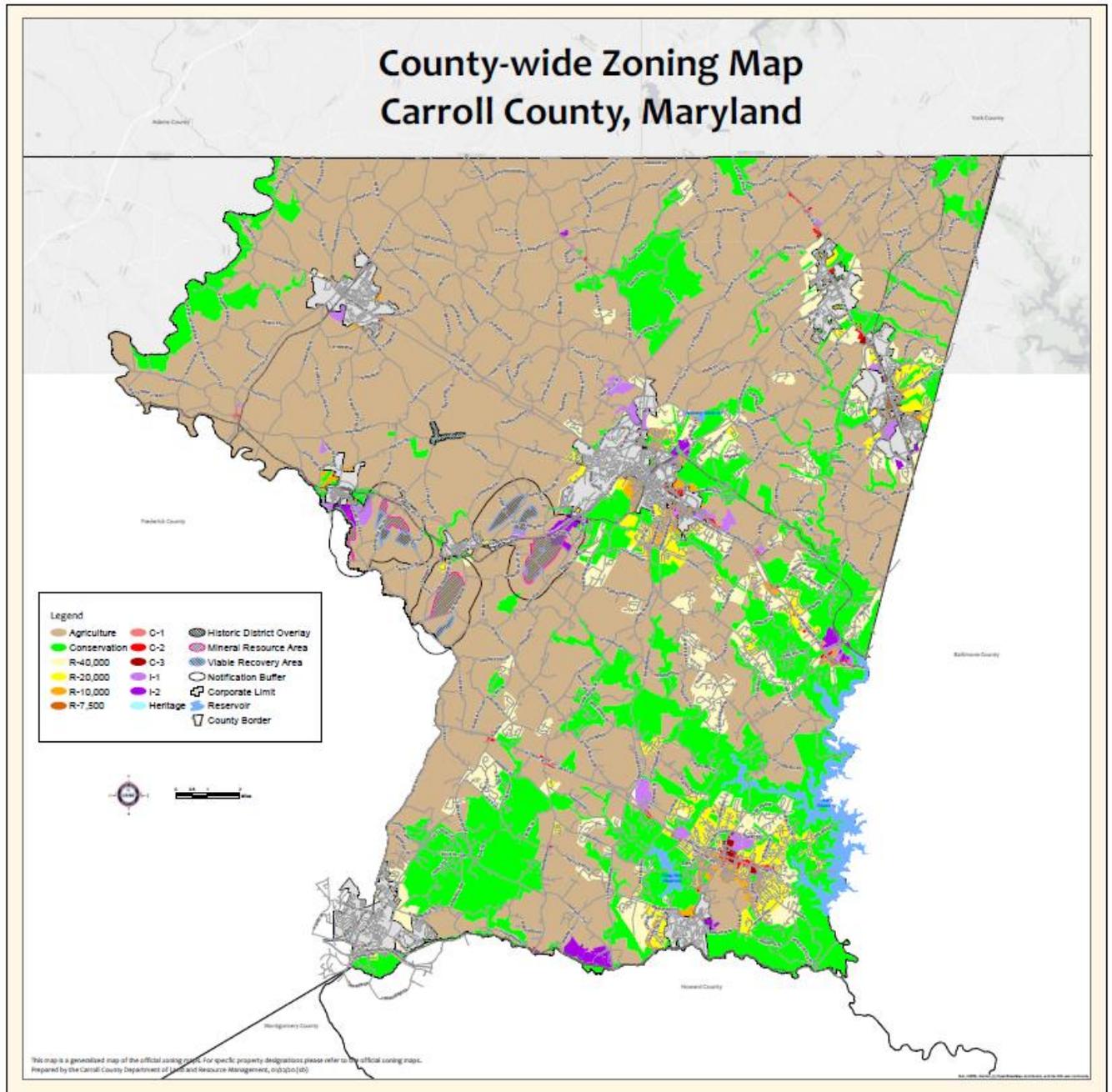
Amendments & Growth Related Changes in Development Patterns

Table 6 – Annexations			
2019			
Name	Acreage	Jurisdiction	Effective Date
Annexation Resolution 42	0.4591	Hampstead	December 10,2019

Source: Department of Planning

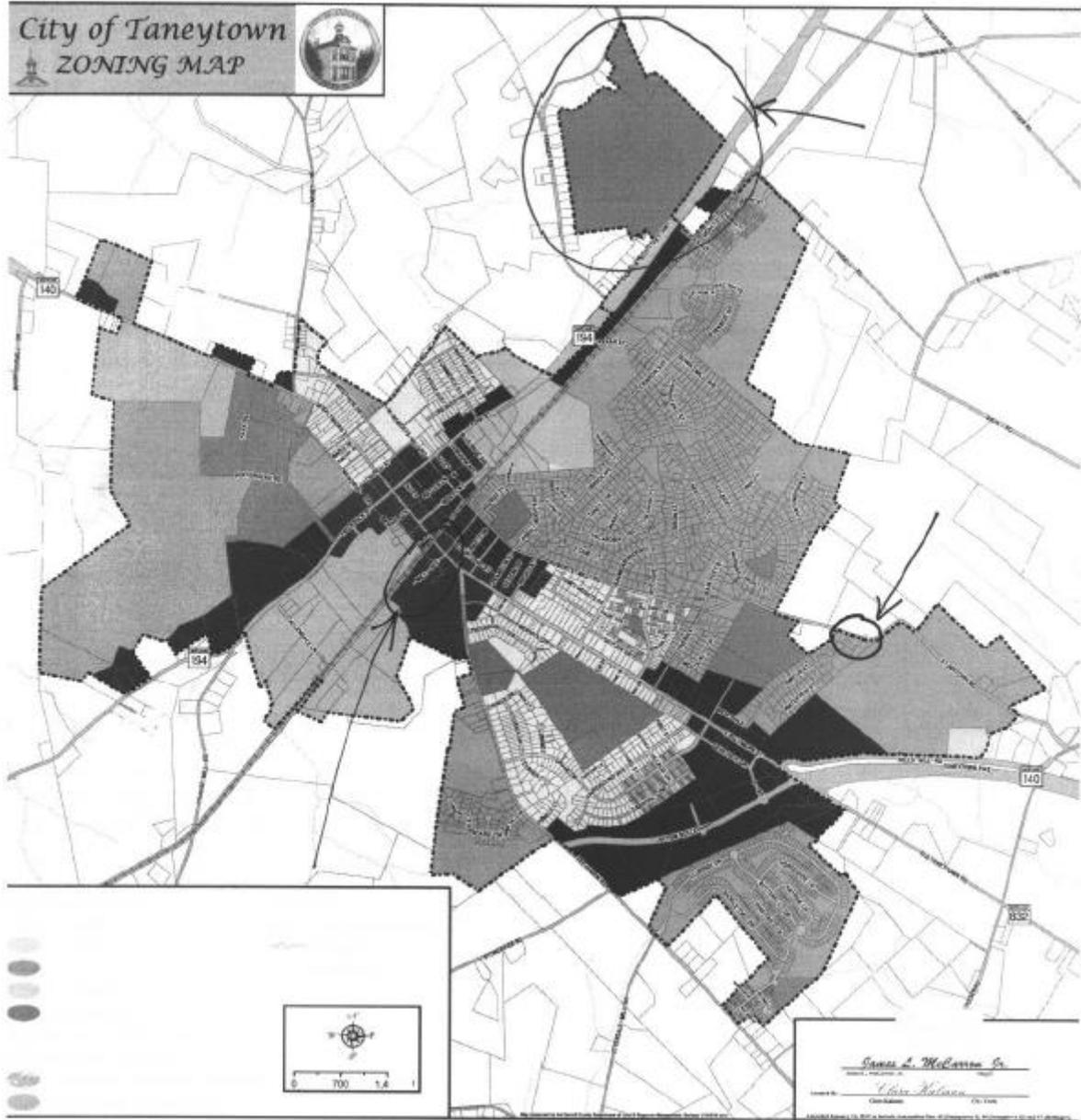
Amendments & Growth Related Changes in Development Patterns

Map 7: County Rezonings



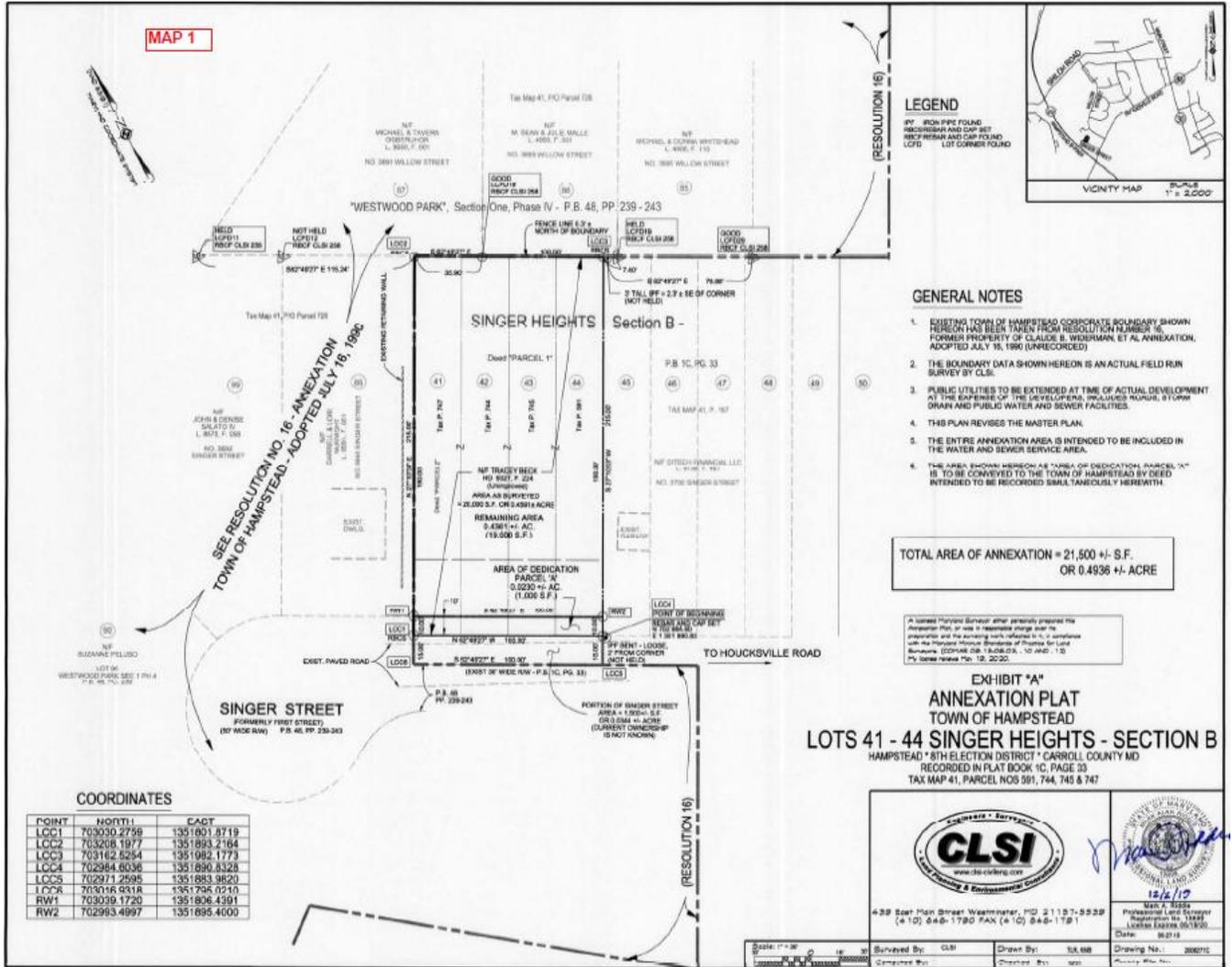
Amendments & Growth Related Changes in Development Patterns

Map 8: Taneytown Zoning Amendment



Amendments & Growth Related Changes in Development Patterns

Map 9: Hampstead Annexations



Amendments & Growth Related Changes in Development Patterns

Zoning Text Amendments

Zoning Text Amendments That Resulted in Changes in Development Patterns

The following revisions to local County and Municipal ordinances substantively affected future development patterns within the County.

County:

Chapter 158, Ordinance No. 2019-06: On December 12, 2019, the Board of County Commissioners adopted Ordinance 2019-06, which eliminated the County's existing 2 business and 2 industrial zoning districts and replaced them with 3 new commercial, 2 new industrial, and a new employment campus zoning district. This text amendment was part of a larger Master Plan implementation effort to bring the Zoning Code into conformance with the 2014 Carroll County Master Plan and the 2018 Freedom Community Comprehensive Plan. Chapter 158 was repealed and replaced in its entirety, but only 39 sections were changed and 11 new sections added. This text amendment was necessary in order to comprehensively rezone the 1,479 properties through Ordinance 2019-08.

Chapter 158, Ordinance No. 2019-01: Allowed breweries and micro-breweries in the Restricted Industrial (I-R) zoning district.

Municipality:

Hampstead – Ordinance No. 533, 10-8-19: – Added a new section to the Town Code, Section 135-19.1, establishing standards and procedures for small wireless facilities.

Union Bridge – Ordinance No. 315, 5-20-19: Provides for the regulation of breweries, microbreweries, wineries, microwineries, coffee roasting operations and uses accessory and incidental thereto.

Manchester – Ordinance No. 235, 1-8-19: To adopt such zoning map amendments or to readopt existing zoning designations as to constitute a comprehensive rezoning of the Town of Manchester in accordance with the recently adopted 2018 Manchester Comprehensive Plan pursuant to the Land Use Article of the Annotated Code of the State of Maryland.

Manchester – Ordinance No. 236, 2-12-19: R40,000 new criteria added

Westminster – Resolution 19-13-A, 5-20-19: A resolution regarding local zoning map amendment No. LMA 19-01, approving an application for the establishment of a compatible neighborhood overly district upon certain property located in the city's "R-10,000" residential zone and adopting the accompanying written decision.

Westminster – Resolution 19-15, 7-22-19: A resolution regarding local zoning map amendment No. LMA 19-02, approving an application for the establishment of a compatible neighborhood overly district upon certain property located in the city's "R-7,500" residential zone, known as 7 schoolhouse avenue, and adopting the accompanying written decision.

Amendments & Growth Related Changes in Development Patterns

Westminster – Ordinance No. 901, 1-14-19: An ordinance amending Chapter 164, "Zoning", of the Westminster City Code, Article VII, "R-7,500 Residential Zone", § 164- 35, "uses permitted", to permit certain pregnancy and newborn care related uses under certain circumstances.

Westminster – Ordinance No. 903, 1-14-19: An ordinance amending Chapter 164, "Zoning", of the Westminster City Code, Article VIII B, "D-B Downtown Business Zone", Section 164-45.9, "special exceptions", to permit firearms sales subject to certain conditions and to add Article XX, "special provisions," Section 164-155.3, "firearms sales in the D-B Downtown Business Zone."

Westminster – Ordinance No. 907, 5-13-19: An ordinance amending Chapter 164, "Zoning", of the Westminster City Code, Article I, "General Provisions", § 164-3, "Definitions and Word Usage", to amend the definition of "boarding (lodging) or rooming houses" and the definition of "dwelling"; amending Chapter 164, Article VI, R-10,000 residential zone", Section 164-30, "special exceptions", Article VIII, "B Business Zone", Section 164-41, "uses permitted," Article VIII B, "D-B Downtown Business Zone", section 164-45.8, "uses permitted", Article IX, "C-B Central Business Zone", Section 164-47, "uses permitted", and Article XV, "Planned Regional Shopping Center Zone", Section 164-101, 'special exceptions", to delete rooming houses as a use permitted by right or by special exception in the respective zones; and amending Chapter 164, article XVIII "regulations application in all districts" to add Section 164-132.1, "Boarding (Lodging) And Rooming Houses", to prohibit boarding and rooming houses in all zones from and after January 1, 2026.

Westminster – Ordinance No. 910, 5-13-19: An ordinance amending Chapter 164, "Zoning", of the Code of the City of Westminster Article XIA, "N-C Neighborhood Commercial Zone", Section 164-64.2, "uses permitted", to add places of worship as permitted uses and to amend the chapter generally to substitute the phrase "places of worship" for terms specifically related to any individual religion

Westminster – Emergency Ordinance No. 918, 12-9-19: An emergency ordinance amending Chapter 164, "Zoning", of the Code of the City of Westminster, Article V, "R-20,000 Residential Zone" and Article VI, "R- 10,000 Residential Zone" to permit as of right single family dwellings lawfully existing in said zones on or before December 1, 2019, subject to the dimensional requirements set forth herein

Amendments to Priority Funding Area Boundaries

Amendments to PFA Boundaries

There were no changes to PFA boundaries in Carroll County during 2019.

Sustainable Community

Sustainable Community Application

There were no changes in 2019.

Amendments & Growth Related Changes in Development Patterns

Schools

New Schools or Additions to Schools

There were no new schools or additions constructed in 2019.

Roads

New Roads or Substantial Changes in Roads or Other Transportation Facilities

Table 7 on page 16 describes additions that occurred to the County's roadway network in 2019. The changes were primarily system maintenance and local in nature.

APFO Restrictions

Developments that were modified due to APFO Restrictions

On February 11, 2019, the Mayor and Common Council of Westminster passed and approved Resolution No. 19-05, amending the adopted Water and Wastewater Allocations Policy for 2018-2024 to encourage the development of multi-family residential uses in the City by increasing the allocations available for that purpose by 12,225 GPD to accommodate the projects currently known as Conifer and the Willows and to make certain minor text clarifications to address the day-to-day processing of applications.

On August 12, 2019, the Mayor and Common Council of Westminster passed and approved Resolution No. 19-16, amending the adopted Water and Sewer Allocations Policy for 2018-2024 further to create separate categories for commercial and industrial uses inside and outside the City, to create separate category for food and beverage-related uses for inside the City only, and to allow long-term queuing of the annual, single-residential-unit allocations.

On November 11, 2019, the Mayor and Common Council of Westminster passed and approved Resolution No. 19-18, amending the adopted Water and Sewer Allocations Policy for 2018-2024 by creating a provision to allow property owners that possess an assigned, tentative water and/or sewer allocation to utilize said allocation at a temporary location, subject to certain conditions.

Amendments & Growth Related Changes in Development Patterns

Parks

New Parks/Park Changes

County:

Municipality:

No new municipal parks were added in 2019.

2019 City of Westminster, Maryland Planning Annual Report Material



Update No. 1

The following information is requested by the Carroll County Department of Planning for the yearly report related to development measures and indicators, as required in the Land Use Article Section 1-208 of the Annotated Code of Maryland

Subdivision & Site Plan Approvals

1. Residential Subdivisions that received Final Approval from Planning Commission in 2019

Name	Stonegate Section III
Number of lots	38 Single Family Lots
Number of Units	38 Proposed Single Family Units
Acres	16.6355
Zoning	R-10,000 and R-20,000

Net density (total area of residential lots, not including open space, roads, stormwater management, etc., divided by number of lots)

If possible please provide the following information for each site plan approved:

- ❖ Record ID # [Please see Staff Report Attached](#)
- ❖ Map #
- ❖ Block/Grid #
- ❖ Parcel #



PLANNING AND ZONING COMMISSION

September 10, 2020

TITLE: Royal Farms Store #323

REQUEST: Site Development Plan S-18-0012

The Applicant is requesting Site Development Plan approval to develop a convenience store with gasoline pumps (Royal Farm Store #323), pursuant to City of Westminster Zoning Ordinance Section 164-75.D.(5)(a).

PROJECT INFORMATION:

LOCATION: 7 Corporate Center Court (SDAT# 07-57274)

ZONE: P-I Planned Industrial Zone (Zoning Ordinance Article XII)

APPLICANT/REPRESENTATIVES:

APPLICANT: Corporate Center Leasing, LLC.

OWNER: Corporate Center Leasing, LLC.

DEVELOPER: Royal Farms

ENGINEER: Kimley-Horn

ARCHITECT: Ratcliffe Architects

ATTORNEY: Kelly Shaffer Miller, Shaffer & Shaffer

STAFF: Andrea Gerhard, Comprehensive Planner

Mark A. Depo, Director of Community Planning and Development

RECOMMENDATION: Conditional Approval

ATTACHMENTS:

1. Proposed Site Development Plan for Royal Farms Store #323

SITE DEVELOPMENT PLAN S-18-0012 REVIEW COMMENTS:

Littlestown Pike (MD Route 97 North)

The Property fronts on MD Route 97 North, a Maryland State Highway, and is located at the southwest quadrant of the Corporate Center Court and MD Route 97 North intersection. The portion of MD Route 97 North that the Property fronts is classified as a principal arterial. Pursuant to the Transportation Element of the Comprehensive Plan a principal arterial *“Links large population or employment centers; can range from expressways to two-lane roadways; inter-county or interstate oriented and indicative of long travel lengths; high in traffic volume and speeds; access should be limited to intersections with public streets and controlled by establishing distances between points of access, provision of service or parallel roads, connections between adjacent developments, prevention of private/individual driveway connections, as well as the reduction in the number of existing access points.”* Furthermore, *“the width of MD 97 North is forty feet, which offers two twelve-foot travel lanes with ten foot left turn and acceleration/deceleration lanes at major intersections. There are no shoulders along most of the road, except in the section just north of the MD 140 interchange, where eight-foot-wide shoulders are available along the west side [opposite the property] of the road.”*

Pursuant to the City of Westminster Comprehensive Plan - Transportation Element, *“As a result of the increasing needs along MD 97 [as identified in the Transportation Element], City staff, in cooperation with SHA and Carroll County, will require three developers to be responsible for immediate mainline widening on MD 97(N). As future developments approach the City for development opportunity, they will also be required to make additional improvements to MD 97.”* Furthermore, *“mainline widening improvements to MD 97(N) are now even more critical as areas beyond Westminster continue to develop at a pace that further exacerbates the problems on the existing roadway.”*

Pursuant to Zoning Ordinance Section 164-138, Major road plans, *“in an area where a major road plan has been duly adopted in accordance with Article 66B of the Annotated Code of Maryland, showing a proposed new highway or street or a proposed relocation or widening of an existing highway or street, no building or part of a building shall be permitted to be erected within the lines of such proposed highway or street except as provided hereinafter:”*

MD Route 97 North adjacent to the Carroll Commerce Center development, including the Property, is planned to be a 5-lane principal arterial roadway. State Highway Administration’s (SHA) June 2011 Concept Design and Report, a SHA project with similar improvements, was completed north of the Commerce Center development on MD Route 97 from Magna Way to Pleasant Valley Road within a 110 feet right-of-way. In consultation with SHA, Community Planning and Development (CP&D) staff, has requested that the Applicant depict and denote the same 110 feet right-of-way along the Property frontage of MD Route 97. Currently, the MD Route 97 right-of-way at this location is 60 feet, requiring additional right-of-way extending into and along the Carroll Commerce Center development, including the Property.

Pursuant to Zoning Ordinance Section 164-69.B.(3), Dimensional Requirements, and Zoning Ordinance Section 165-55, Dimensional Requirements, Landscaping, a front yard depth of 50 feet is required for all buildings of the proposed convenience store with gasoline pumps use. Pursuant to Zoning Ordinance Section 164-3, Definitions, “Front Yard” is defined as “*A yard extending across the full width of the lot and lying between the front lot line or the proposed front street line and the nearest line of the building or any enclosed portion thereof.*” [Emphasis added]

The requested right-of-way along Route 97 allows for needed improvements that benefits the Royal Farm and Commerce Center development. Route 97 provides the only access to Royal Farms and the Commerce Center development and improvements to Route 97 would allow for better access and movement of vehicles accessing Royal Farms and the Commerce Center development via Route 97 and would reduce the impact to Route 97 from vehicle trips to these developments. The requested right-of-way along Route 97 will not restrict development within the Commerce Center as several Units (Units 2,3,4 and 5) have already developed and such right-of-way will have no effect on these developments. Furthermore, the requested right-of-way along Route 97 will not restrict Unit 7 from developing the proposed Royal Farms convenience store with gas pumps. The additional right-of-way may require the elimination of 9 parking spaces and relocation of the Stormwater Management (SWM) elements along MD 97, as proposed with the Royal Farm Site Development Plan. However, the proposed Royal Farm development exceeds the required number of parking spaces by 37 and there is vacant and useable space on Unit 7 where the SWM may be relocated. CP&D staff did meet with Carroll County Bureau of Resource Management, responsible for the review and approval of SWM for City development, and they confirmed that the Royal Farm development exceeds the required SWM on-site and any required SWM may be relocated on the vacant area of Unit 7.

The Planning and Zoning Commission reviewed this right-of-way as part of the reviewed of the Amended Carroll County Commerce Center Development Plan at the August 13, 2020 meeting. Although the Commission decided to forward this Development to the City of Westminster Mayor and Common Council with a favorable recommendation without including this right-of-way, Staff wants to reiterate its importance during the review of this site plan.

Landscape Review

At the January 7, 2020 Board of Zoning Appeals (BZA) meeting, the Applicant requested and was granted three variances pertaining to Zoning Ordinance landscaping requirements in the P-I zoning district. The Applicant requested two variances to the landscaping requirements of Zoning Ordinance Section 164-69.B.(3), Dimensional Requirements, and Zoning Ordinance Section 165-57, Landscaping, as follows.

1. Variance from the required 30” wide minimum landscaped edge along an external right-of-way of Zoning Ordinance Section 164-57. In exchange, the applicant is to provide alternative landscaping along Littlestown Pike, while meeting the required landscaping units. At the January 7, 2020 BZA meeting, CP&D staff voiced its concerns with the lack of

the required trees intended to help screen the adjacent residential use across MD Route 97 from the light and glare created by the proposed Royal Farm development.

2. Variance from the required landscaped earth mound at least three feet high between the parking area and any adjacent residential district or public right-of-way of Zoning Ordinance Section 164-57. In exchange, the applicant is to provide a 0-foot earth mound along Littlestown Pike and provide alternative landscaping, while meeting the required landscaping units.

The Applicant also requested a variance to the landscaping requirements Zoning Ordinance Section 164-70, Off-street parking, as follows:

3. Variance from the required off-street parking requirements of when the lot on which parking spaces are located abuts the rear or side lot line of or is across the street from any land in a residential zone other than publicly owned land, a wall, fence or evergreen planting shall be maintained so as to screen substantially the parking lot from view from the nearest property in the residential zone. In exchange, the applicant proposes a landscape buffer in lieu thereof along Littlestown Pike, while meeting the required landscaping units. At the January 7, 2020 BZA meeting, CP&D staff voiced its concerns with the lack of the required plantings and screening intended to help screen the adjacent residential use across MD Route 97 from the proposed Royal Farm development.

Pursuant to Zoning Ordinance Section 164-131.1., Compliance with Landscape Manual, CP&D staff has reviewed S-18-0012 for compliance with the Landscape Manual, as well as, the above referenced variances and other applicable Zoning Ordinance landscaping regulations. Pursuant to Zoning Ordinance Section 165-57, *"A thirty-foot-wide minimum landscaped edge shall be required along any residential district or external right-of-way, to be planted with a minimum of two-and-one-half-inch caliper trees at a minimum of 30 feet on center and a similarly landscaped earth mound at least three feet high between the parking area and any adjacent residential district or public right-of-way."* [Emphasis added] S-18-0012 must provide the thirty-foot-wide minimum landscaped edge required along MD Route 97. Any approval by the Commission must be subject to S-18-0012 providing the required thirty-foot-wide minimum landscaped edge along MD Route 97. With the exception of the thirty-foot-wide minimum landscaped edge required along MD Route 97, S-18-0012 meets all other landscaping requirements of the Zoning Ordinance. However, CP&D staff is not aware of any landscape buffer being provided in lieu of meeting Zoning Ordinance Section 165-57 requirements, as stated by the Applicant and as outlined above, while meeting the required landscaping units

Development Design Preferences Manual

Pursuant to Zoning Ordinance Section 164-131.2., Compliance with Development Design Preferences Manual, and the Commission's Rules and Regulations, CP&D staff has reviewed S-18-0012 for compliance with the Development Design Preferences Manual. No modifications to the Development Design Preferences Manual are being requested for this project.

The Development Design Preferences Manual states, “The concept of functional lighting without placing undue burden on neighboring properties, and without sacrificing citizen safety, will be incorporated into development proposals. By preserving intelligent lighting projects will combat the glare as well as light trespass and pollution.” Furthermore, “Lighting should be directed toward buildings and not trespass beyond property boundaries. The City encourages developers to use lighting that can be controlled through automatic switching devices such as timers, motion detectors and photocells. Lighting should be extinguished by 10:00 p.m. or one hour after business hours ends if it is later than 10:00 p.m. to help reduce sky-lighting pollution.”

As referenced above, due to the approved variance, CP&D staff remains concerned with the lack of required plantings and screening intended to help screen the adjacent residential use across MD Route 97 from the proposed lighting for the Royal Farm development. Therefore, CP&D staff recommends that all site lighting to be directed away from the residential use across MD Route 97. CP&D staff also recommend that the Applicant provide comments on hours of operations and recommends that lighting should be extinguished by 10:00 p.m. or one hour after business hours ends if it is later than 10:00 p.m.

Signs

Pursuant to Zoning Ordinance Section 164-121 (E), “Business signs pertaining to a use on the premises are permitted as an accessory use in the P-I Planned Industrial Zone, provided they meet the following provisions:

1. No sign shall project over or into any street right-of-way or project more than 12 inches above the parapet wall or roofline.
2. Any sign erected shall be located in such a manner that traffic visibility is not impaired.
3. Signs shall be integral with or attached to the building. Additionally, one freestanding sign located at the street right-of-way shall be permitted as provided in Subsection **E(5)** hereof.
4. Where the lot adjoins any residential zone, a sign within 50 feet shall be attached flat against the front of the building, and no freestanding sign shall face any residential zone.
5. Any freestanding sign shall be permitted as follows. Applications for signs which do not exceed 64 square feet in total area and which do not exceed 20 feet in height shall be approved by the Zoning Administrator. Applications for signs up to and including 250 square feet and/or up to and including 40 feet in height shall be approved by the Commission. In determining whether or not to approve an application, the Zoning Administrator or the Commission shall take into consideration the following factors: traffic and pedestrian safety; the size, configuration elevation and location of the property; existing signs on the property and neighboring properties; aesthetics, and any other factors relating to the location, size, design, composition and specific character of

the proposed sign deemed appropriate by the Zoning Administrator or the Commission. No sign shall be approved if the Zoning Administrator or the Commission find that it would not achieve a maximum of compatibility, safety, efficiency and attractiveness.”

The Applicant is proposing a total of 512.31 square feet of signage with 190 square feet being attributed to the free-standing monument sign, with a brick base consistent with the architecture of the proposed Royal Farm building. S-18-0012 depicts the sign area dimensions of the monument sign as being 10 feet wide by 19 feet 2 inches wide but does not provide the height of the brick base. CP&D staff recommends that the Applicant should state the height of the brick base to the Commission and update S-18-0012 accordingly, so as not to have any issues at time of permitting for the monument sign. Otherwise, the proposed signage for S-18-0012 meets the requirements of the Zoning Ordinance.

As referenced above, due to the approved variance, CP&D staff remains concerned with the lack of required plantings and screening intended to help screen the adjacent residential use across MD Route 97 from the proposed Royal Farm development. Therefore, CP&D staff recommends that all building and canopy signage perpendicular to or facing the residential use across MD Route 97 not be illuminated and site lighting to be directed away from the residential use across MD Route 97.

Parking

Pursuant to Zoning Ordinance Article XVI, Off-Street Parking and Loading, the proposed convenience store with gasoline pumps (under “Commercial establishments devoted to retail sales, trade, merchandising or similar uses not otherwise specified herein”) is required to provide one (1) parking space for each 250 square feet of floor area used for retail sales, trade or merchandising, and one (1) parking space for each 300 square feet of floor space used for office, storage or other purposes. The proposed Royal Farm convenience store is 5,154 sq. ft and requires 21 parking spaces. S-18-0012 proposes to provide 58 parking spaces, an increase of 37 parking spaces or 176% from the required 21 parking spaces. All of the additional parking spaces illustrate that the removal of the 9 spaces to accommodate the requested right-of-way for MD 97 would not negatively impact the development of Royal Farms. CP&D staff recommends that the Applicant state the need for additional parking spaces to the Commission.

Water

Pursuant to the City of Westminster Water and Sewer Allocation Policy 2018-2024, for allocations related to any site development plan, the necessary allocations will be noted on the site plan; however, allocations are only granted at the building permit stage. Site development plans for property within the City are complete following the approval of the Planning and Zoning Commission. Upon such approval, tentative allocations are recognized for an additional six

months to allow for the building permit review process. A tentative water and sewer allocation (WSA-18-04) in the amount of 1,460 GPD was issued for this project.

PROCESS:

Pursuant to the City's review process, the site plan was provided to the appropriate City and County agencies to determine readiness to present to the Westminster Planning and Zoning Commission. Plans were reviewed for compliance with City and County requirements. Carroll County reviewed the plans for grading, utilities, stormwater management, site traffic, and drainage. The City reviewed this project for compliance with applicable, zoning, landscaping, and items contained in the Development Design Preference Manual. The Planning and Zoning Commission shall approve, approve subject to conditions, or disapprove Site Development Plan S-18-00182.

RECOMMENDATION:

Staff recommends that the Commission approve the proposed site development plan S-18-0012, with the following conditions:

1. The Amended Development Plan for Carroll County Commerce Center obtain approval by Mayor and Common Council. This may also include the need to depict the required right-of-way to accomplish the 110 feet ultimate right-of-way for MD 97 consistent with the City of Westminster's Comprehensive Plan, Zoning Ordinance, State Highway Administration's June 2011 Concept Design, and Report.
2. The Site Development Plan shall be consistent with the Amended Development Plan for Carroll County Commerce Center.
3. Address any outstanding comments.

DRAFT MOTIONS FOR SITE DEVELOPMENT PLAN S-18-0012:

1. I move that the Planning and Zoning Commission approve Site Development Plan S-18-0012 based on the Staff Report and subject to the Conditions of Approval provided at the August 11, 2020, Planning and Zoning Commission Meeting.

OR

2. I move that the Planning and Zoning Commission continue Site Development Plan S-18-0012 until such time the Mayor and Common Council act on the Commerce Development Plan DP-20-01.

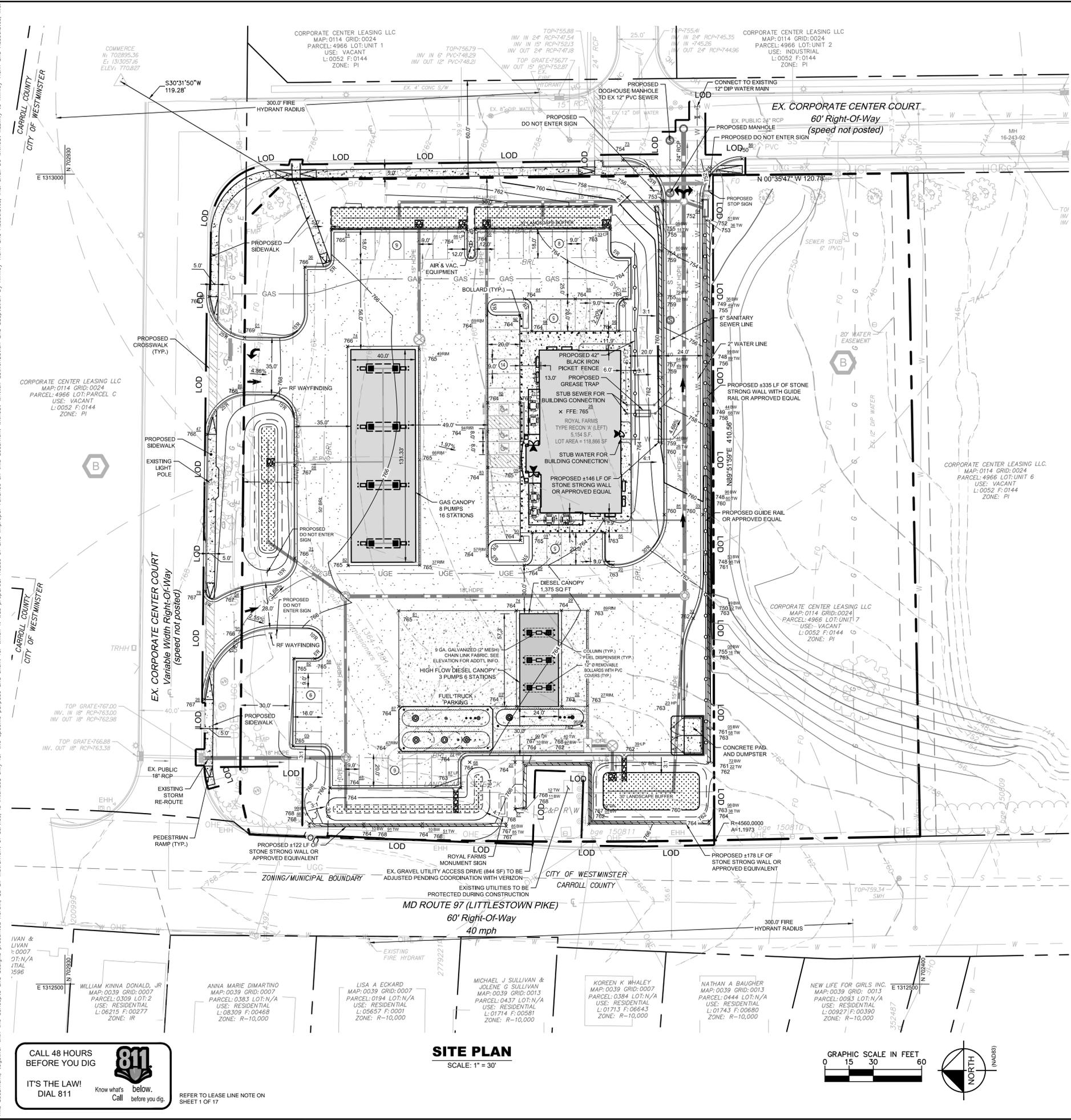
OR

3. I move that the Planning and Zoning Commission deny Site Development Plan S-18-0012.

OR

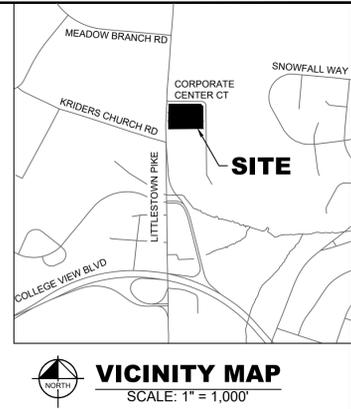
4. I move an alternate motion.

Plotted By: Jeff, John Sheet Set: Royal Farms #323 - Carroll, Commerce, Layout: 4 SITE PLAN, April 02, 2020 12:13:41pm K:\BAL-CVA\114068-Royal Farms\010-RF-323 - Carroll, Commerce\CAD\PlanSheets\C-200 SITE PLAN.dwg
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DEVELOPMENT SUMMARY

PREMISES ADDRESS:	CORPORATE CENTER COURT WESTMINSTER, MD 21157
MAP:	0114 GRID: 0024 PARCEL: 4966
EXISTING SITE AREA:	±169,798 SQ. FT. (±3.9 AC)
EXISTING USE:	UNDEVELOPED
PROPOSED SITE AREA:	±118,866 SQ. FT. (±2.7 AC)
PROPOSED USE:	CONVENIENCE STORE WITH FUEL PUMPS
ZONING DATA:	P-4 PLANNED INDUSTRIAL ZONE
EXISTING:	P-4 PLANNED INDUSTRIAL ZONE
PROPOSED:	P-4 PLANNED INDUSTRIAL ZONE
PARKING REQUIRED:	1 SPACE PER 250 SQ. FT.
BUSINESS / COMMERCIAL USE:	5,154 SQ. FT. PROPOSED = 21 SPACES REQUIRED
LOADING:	0 LOADING SPACE AS BUILDING IS SMALLER THAN 10,000 SF
HANDICAPPED:	3 SPACES PER 51-75 SPACES
PARKING PROPOSED:	56 SURFACE PARKING SPACES INCLUDING 3 HANDICAP SPACES
LOADING:	0 SPACE
SETBACK REQUIREMENTS:	FRONT: 50' SIDES: 50' REAR: 30'
PROPOSED STORE MODEL:	RECON 'A' (LEFT), 5,154 SF



VICINITY MAP
SCALE: 1" = 1,000'

SITE PLAN LEGEND

	PROPERTY LINE
	LEASE LINE
	LIMITS OF DISTURBANCE
	PROPOSED CURB AND GUTTER
	EX SETBACK (BUILDING/LANDSCAPE)
	EX EASEMENT
	PROPOSED WALL
	PROPOSED BLACK IRON FENCE
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED LIGHT LOCATION
	PROPOSED DUMPSTER
	PROPOSED MONUMENT SIGN
	DIRECTIONAL ARROW (FOR REFERENCE ONLY)

UTILITY LEGEND

	PROPERTY LINE
	PROPOSED WATER LINE
	PROPOSED SEWER LINE
	PROPOSED DUCT BANK
	PROPOSED GAS LINE
	PROPOSED STORM DRAIN PIPE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLET
	PROPOSED STORM DRAIN CLEANOUT
	PROPOSED STORM DRAIN TEE
	PROPOSED STORM DRAIN VALVE
	PROPOSED STORM DRAIN ENDCAP
	PROPOSED STORM DRAIN CLEANOUT
	PROPOSED STORM DRAIN INLET
	PROPOSED STORM DRAIN MANHOLE

EX CONDITIONS LEGEND

	LEASE LINE
	SOIL BOUNDARY
	EX SEWER (PER GIS)
	EX WATER (PER GIS)
	EX STORM DRAIN (PER GIS)
	EX FIBER (PER VERIZON COORDINATION)
	CARROLL COUNTY SURVEY MONUMENT (PER CARROLL COUNTY SURVEY CONTROL)

SURVEY LEGEND

	PROPERTY LINE
	EX SETBACK (BUILDING/LANDSCAPE)
	EX EASEMENT
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
	EX STORM
	EX SANITARY SEWER
	EX WATER
	EX UNDERGROUND ELECTRIC
	EX OVERHEAD ELECTRIC
	EX FIBER OPTICS
	EX GAS
	EX STORM MANHOLE
	EX INLET
	EX SANITARY MANHOLE
	EX WATER VALVE
	EX WATER MANHOLE
	EX FIRE HYDRANT
	EX ELECTRIC POLE
	EX ELECTRIC MANHOLE
	EX LIGHT POLE
	EX TELECOMM MANHOLE
	EX GAS VALVE
	EX SIGN
	EX TREE
	EX VEGETATION LINE
	HYDROLOGIC SOIL GROUP "B"

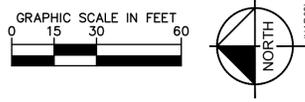
GRADING PLAN LEGEND

	PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED TOP OF WALL SPOT ELEVATION
	PROPOSED BOTTOM OF WALL SPOT ELEVATION
	TOP OF CURB
	BOTTOM OF CURB
	HIGH POINT
	LOW POINT
	TOP OF WALL
	BOTTOM OF WALL
	BOTTOM OF SWM FACILITY
	RIMTOP OF GRATE

CITY OF WESTMINSTER STANDARD GENERAL NOTES FOR PUBLIC WATER & SEWER SERVICE CONNECTIONS

1. THE INSTALLATION OF SERVICE CONNECTIONS WITHIN THE LIMITS OF PUBLICLY OWNED RIGHTS-OF-WAY OR EASEMENTS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS FOR THE CITY OF WESTMINSTER. THIS WORK IS SUBJECT TO INSPECTION AND ACCEPTANCE BY THE CITY OF WESTMINSTER.
2. THE CONTRACTOR SHALL HAVE A CURRENT COPY OF THE CITY OF WESTMINSTER 'STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITY SYSTEMS, ROADS AND STORM DRAINS' AVAILABLE TO HIM AT ALL TIMES DURING HIS OPERATIONS.
3. THE CONTRACTOR SHALL NOTIFY THE CITY OF WESTMINSTER 'DEPARTMENT OF PUBLIC WORKS' AT 410-848-2592 AT LEAST 5 DAYS IN ADVANCE OF STARTING SERVICE CONNECTION INSTALLATION(S), AND SHALL NOT INTERRUPT EXISTING WATER OR SEWER SERVICE WITHOUT FIRST OBTAINING PERMISSION FROM THE 'DEPARTMENT'.
4. THE CONTRACTOR SHALL NOTIFY HIS ENGINEER WHEN PROPOSING FIELD ADJUSTMENTS TO THE TYPE, SIZE, OR LOCATION OF THE SERVICE CONNECTION(S) SPECIFICALLY SHOWN ON THE PLAN. THE CONTRACTOR SHALL OBTAIN FINAL APPROVAL FROM THE CITY INSPECTOR PRIOR TO COMMENCING WORK ON ANY FIELD CHANGES INVOLVING PUBLIC SERVICE CONNECTIONS.
5. THE CONTRACTOR SHALL CONTACT 'MISS UTILITY' AT 1-800-257-7777 IN ADVANCE OF HIS INSTALLATION OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL UTILITY OWNERS HAVE EXISTING LINES IN THE AREA ARE PROPERLY NOTIFIED.
6. THE LOCATIONS OF EXISTING UTILITY LINES SHOWN IN THESE PLANS IS APPROXIMATE ONLY, AND THE CONTRACTOR MUST VERIFY THE LOCATIONS TO HIS OWN SATISFACTION. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT AGAINST DAMAGE TO EXISTING LINES, AND SHALL BE SOLELY RESPONSIBLE FOR THE COST OF REPAIRS INCURRED BY HIS OPERATIONS.

SITE PLAN
SCALE: 1" = 30'



CALL 48 HOURS BEFORE YOU DIG

811

IT'S THE LAW!
DIAL 811

Know what's below. Call before you dig.

REFER TO LEASE LINE NOTE ON SHEET 1 OF 17

BZA CASE NUMBER: 28-01
CITY OF WESTMINSTER PROJECT NO.: WSA-18-04
DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL: NAD 83/91 VERTICAL: NAVD 88

NO.	REVISIONS	DATE

Kimley-Horn

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PHONE: 443-743-4470
WWW.KIMLEY-HORN.COM



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM AN FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

EXPIRATION DATE: 01/21/2021
LICENSE NO.: 31373

KHA PROJECT	114068006
DATE	04/02/2020
SCALE	AS SHOWN
DESIGNED BY	JHN
DRAWN BY	JHN
CHECKED BY	JBS

SITE PLAN

ROYAL FARMS #323
PREPARED FOR
7 CORPORATE CENTER CT
MAP: 0114 GRID: 0024 PARCEL: 4966
WESTMINSTER MARYLAND

SHEET NUMBER
4 OF 17

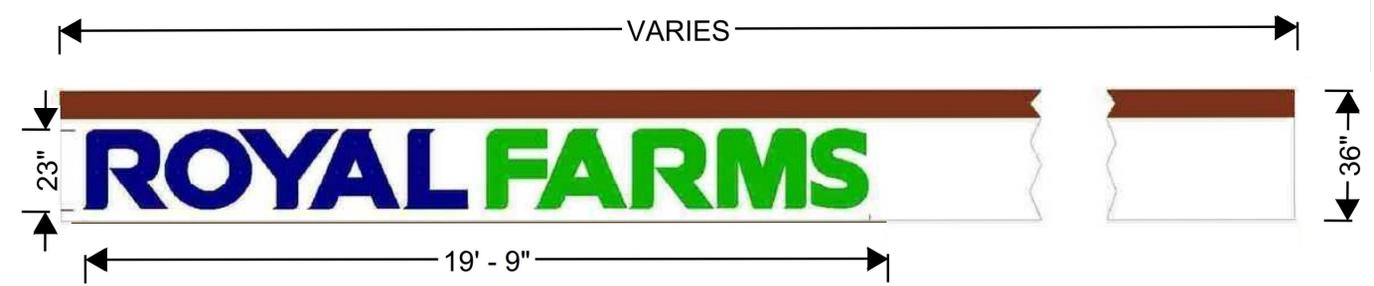
Plotted By: jehf, john Sheet Set: Royal Farms #323 - Carroll Commerce Layout 5 SIGN DETAILS - April 02, 2020, 12:14:01pm K:\BAL_OVA\114068-Royal Farms\01-RFS_323 - Carroll Commerce\CAD\PlanSheets\C-250-SIGN-DETAILS.dwg
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GENERAL NOTES:
 DETAILS SHOWN HERON WERE PREPARED BY RATCLIFF ARCHITECTS AND ARE FOR ILLUSTRATION/ENTITLEMENT PURPOSES ONLY. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION INFORMATION.
 1. SHOP DRAWINGS SHALL BE SUPPLIED AT TIME OF PERMIT APPLICATION AND PRIOR TO PERMIT ISSUANCE TO THE REVIEWING AND APPROVING AGENCY.
 2. ALL DETAILS SHOWN HERON THESE PLANS SHALL BE BUILT TO MANUFACTURERS/ARCHITECTS SPECIFICATIONS.
 3. EQUIVALENT SUBSTITUTIONS FOR DETAILS PROVIDED IN THESE PLANS SHALL BE PERMITTED WHEN APPROVED BY THE OWNER/OWNERS REPRESENTATIVE, KIMLEY-HORN, ARCHITECT, AND THE CITY OF WESTMINSTER.
 4. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION INFORMATION.

TOTAL SIGN SQUARE FOOTAGE: 19.6

5A PROPOSED DIESEL FUEL SIGN - SITE
 SCALE: NOT TO SCALE



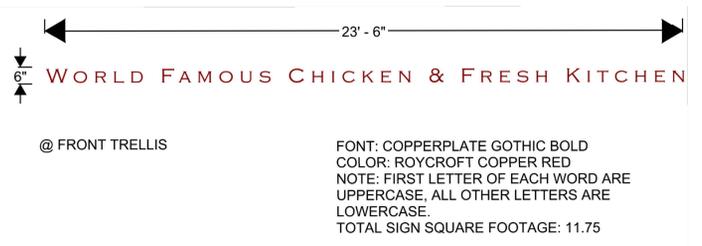
PROPOSED SQUARE FOOTAGE: 37.85 SQ. FT. EACH
 ILLUMINATION: LED, INTERNALLY LIT, INDIVIDUALLY-MOUNTED LETTERS

5 PROPOSED FUEL CANOPY SIGN
 SCALE: NOT TO SCALE

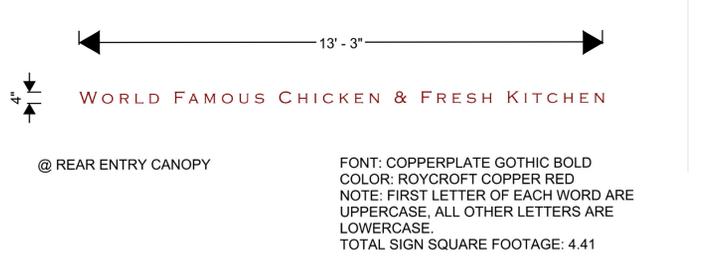


NOTES: 1. INTERNALLY LIT, INDIVIDUALLY MOUNTED LETTERS
 2. TOTAL SIGN SQUARE FOOTAGE: 37.85' S.F.
 3. ONE SIGN TO BE BUILDING MOUNTED

2 BUILDING SIGN-CHANNEL LETTERS
 SCALE: NOT TO SCALE



2A BUILDING SIGN-FRESH KITCHEN LETTERS @ FRONT TRELLIS
 SCALE: NOT TO SCALE

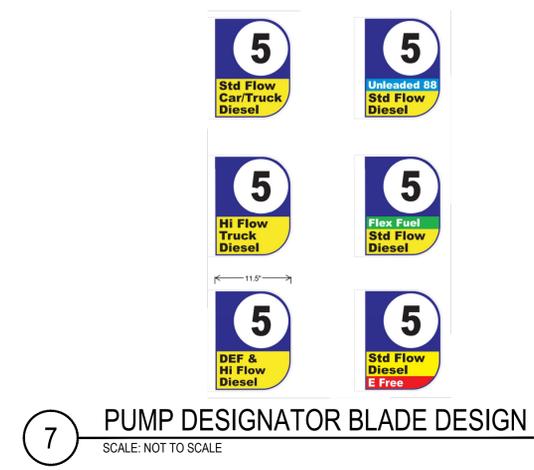


2A* BUILDING SIGN-FRESH KITCHEN LETTERS @ REAR ENTRY CANOPY
 SCALE: NOT TO SCALE

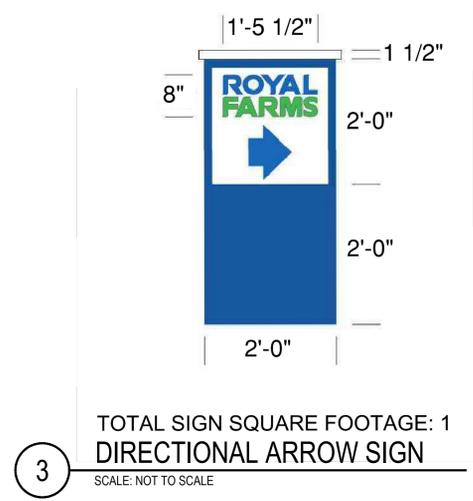


1 PROPOSED MONUMENT SIGN - SITE
 SCALE: NOT TO SCALE

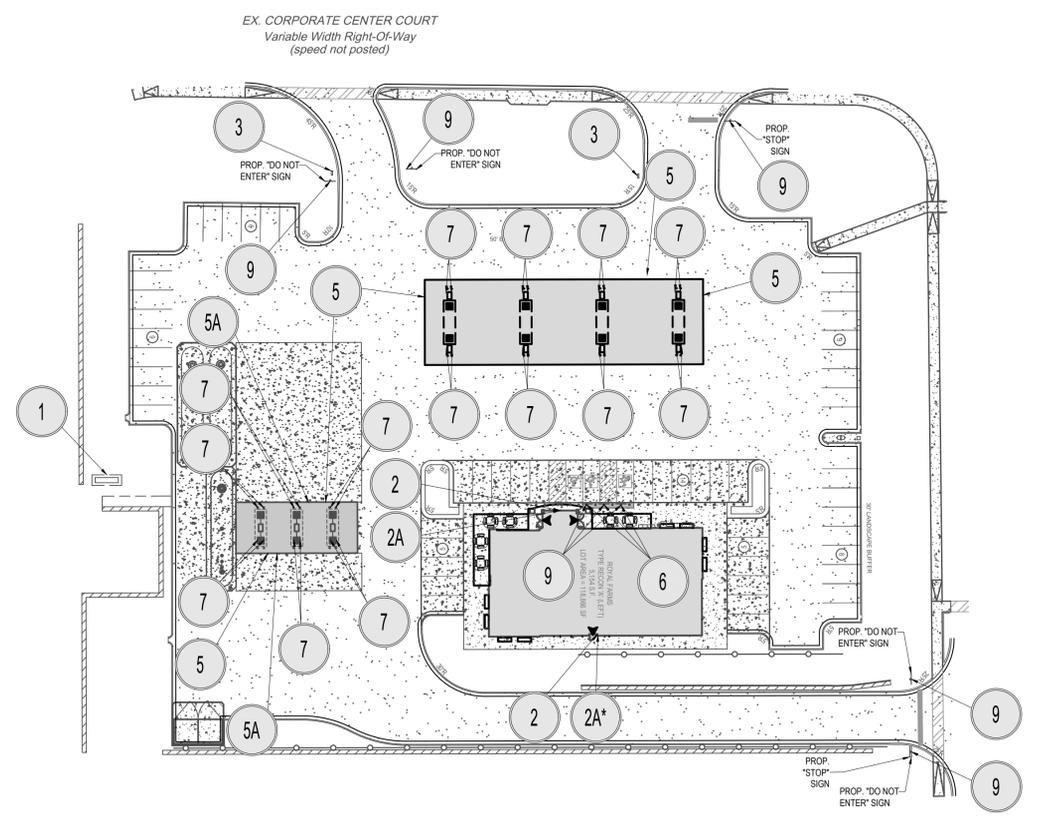
RFS 323 - SIGNAGE CHART				
DETAIL #	DESCRIPTION	AREA(SF)	HEIGHT(FT)	QUANTITY
1	MONUMENT SIGN	190.00	27.0	1
2	BUILDING SIGN	37.85	N/A	2
2A	BUILDING SIGN - FRESH KITCHEN - FRONT	11.75	N/A	1
2A*	BUILDING SIGN - FRESH KITCHEN - BACK	4.41	N/A	1
3	DIRECTIONAL ARROW SIGN	1.00	5.5	2
5	FUEL CANOPY SIGN	37.85	N/A	5
5A	DIESEL FUEL SIGN	19.60	N/A	2



7 PUMP DESIGNATOR BLADE DESIGN
 SCALE: NOT TO SCALE



3 TOTAL SIGN SQUARE FOOTAGE: 1 DIRECTIONAL ARROW SIGN
 SCALE: NOT TO SCALE

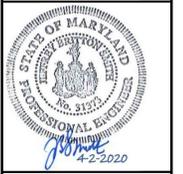


KEY MAP
 SCALE: 1"=40'

BZA CASE NUMBER: 20-01
 CARROLL COUNTY FILE NO. S-18-0012
 CITY OF WESTMINSTER PROJECT NO.: WSA-18-04
 DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91 VERTICAL NAVD 88

NO.	REVISIONS	DATE	BY

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 PHONE: 443-743-4470
 WWW.KIMLEY-HORN.COM



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 LICENSE NO. 31373
 EXPIRATION DATE 01/01/21

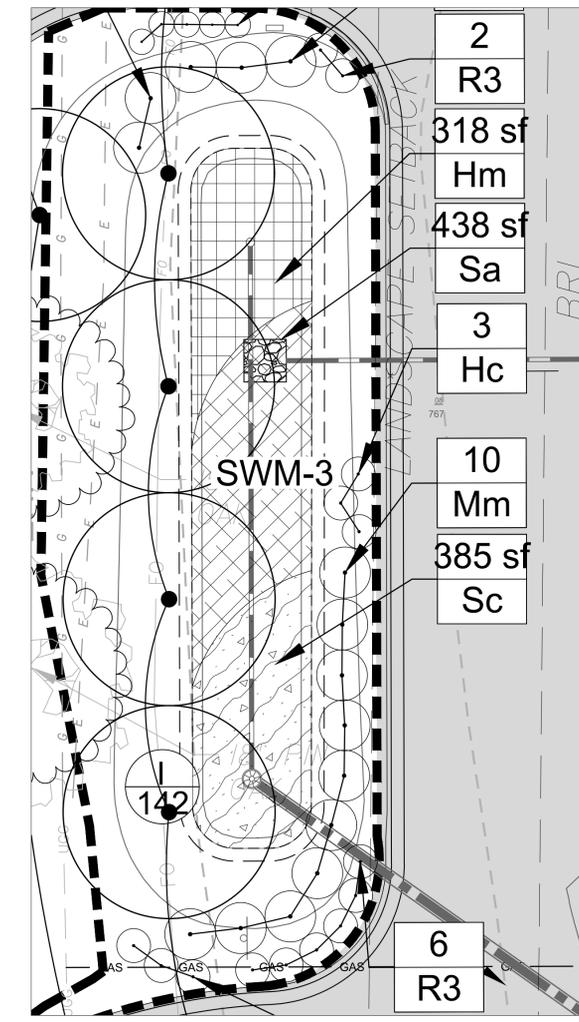
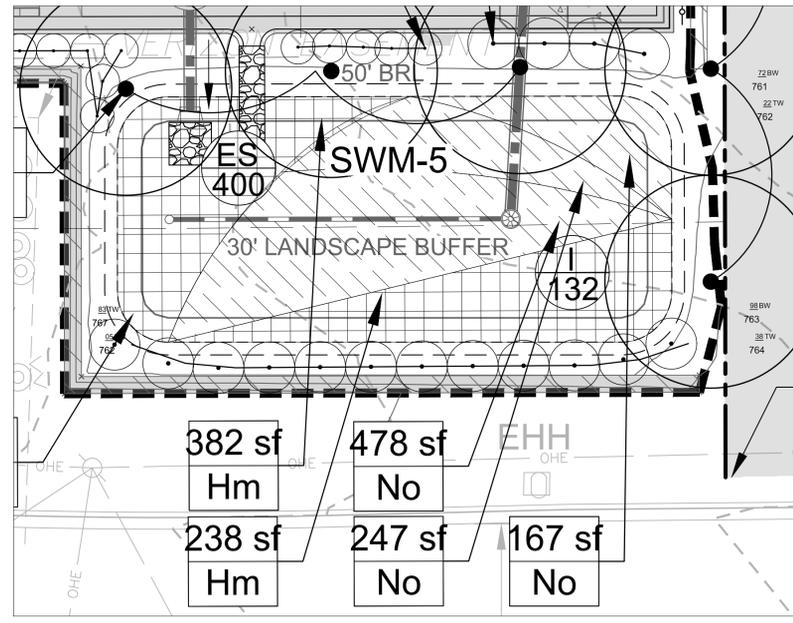
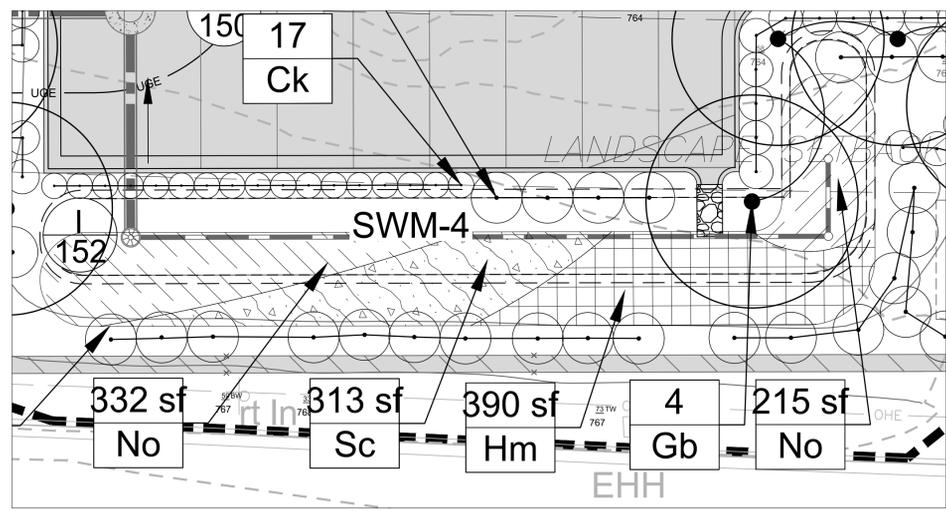
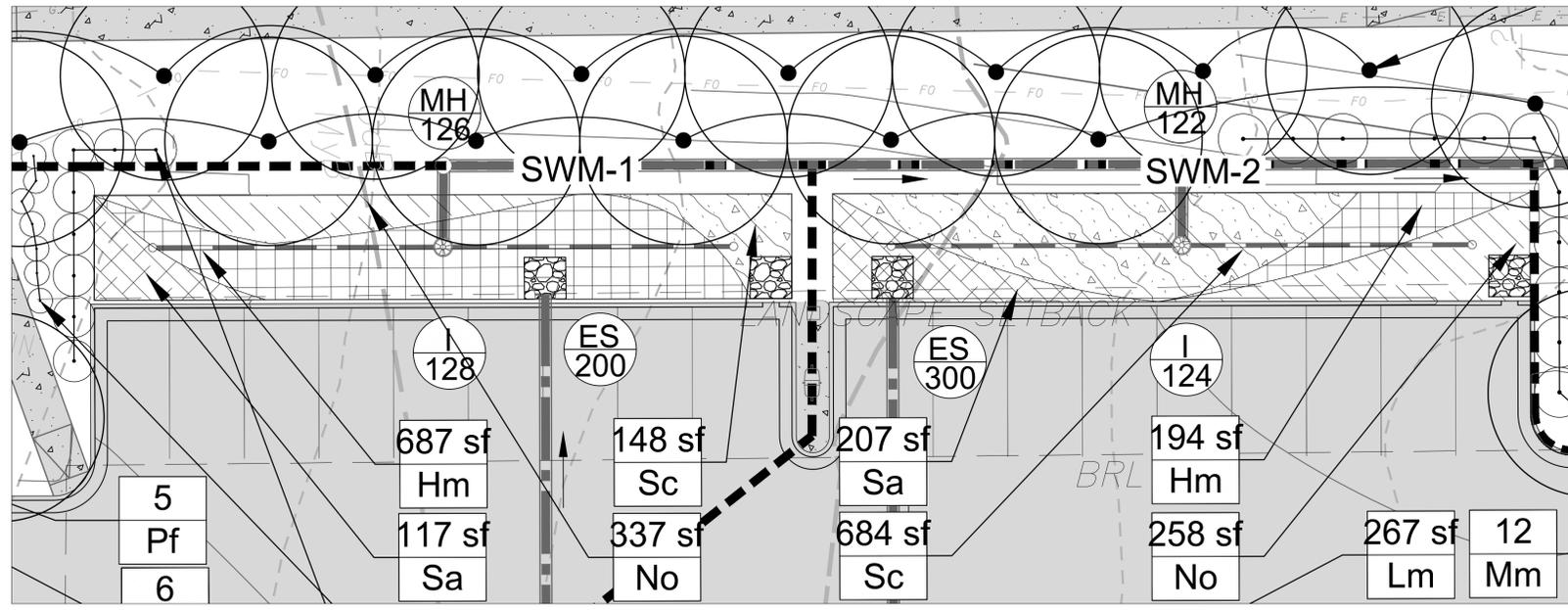
KHA PROJECT: 114068006
 DATE: 04/02/2020
 SCALE: AS SHOWN
 DESIGNED BY: JHN
 DRAWN BY: JHN
 CHECKED BY: JCL

ROYAL FARMS #323
 PREPARED FOR
7 CORPORATE CENTER CT
 MAP: 0114 GRID: 0024 PARCEL: 4966
 WESTMINSTER MARYLAND

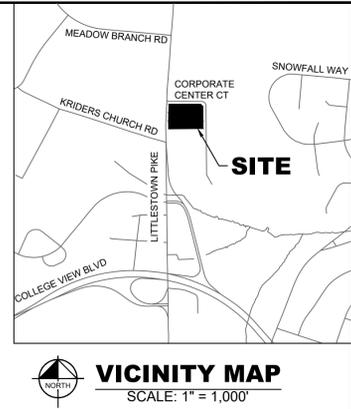
SIGN DETAILS

SHEET NUMBER
5 OF 17

Plotted By: Jeff, John Sheet Set: Royal Farms #323 - Carroll Commerce - Layout: 10 FINAL STORMWATER PLANTING DETAILS April 28, 2020 12:23:28pm K:\BAL-CIV\14068-Royal Farms\10-2020-12-23-28pm.dwg - Corroll Commerce\CAD\PlanSheets\10-2020-12-23-28pm.dwg LANDSCAPE SWM PLANTING DETAILS.dwg
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PLANT SCHEDULE					
GROUND COVERS	QTY (SF)	BOTANICAL NAME	COMMON NAME	CONT	SPACING
HM	2,691	HIBISCUS MOSCHEUTOS	ROSE MALLOW	2 QT	18" O.C.
NO	2,392	NASTURTIIUM OFFICINALE	WATERCRESS	2 QT	18" O.C.
SC	1,658	SAURURUS CERNIUS	LIZARD'S TAIL	2 QT	18" O.C.
SA	762	SCIRPUS AMERICANUS	THREE-SQUARE BULRUSH	2 QT	18" O.C.



NO.	REVISIONS	DATE	BY

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PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 3415
 EXPIRATION DATE 07/28/2021

FINAL STORMWATER PLANTING DETAILS

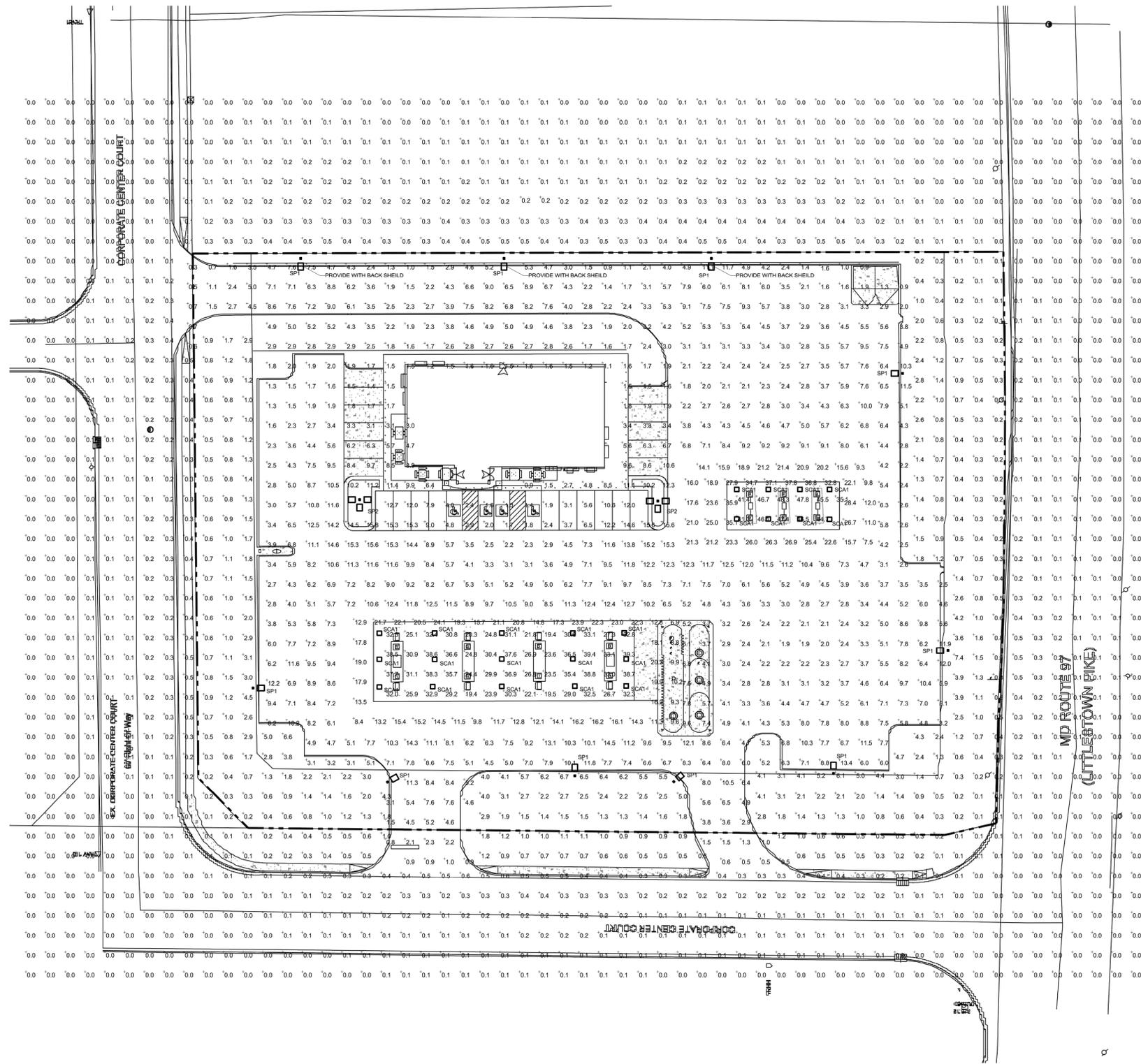
ROYAL FARMS #323
 PREPARED FOR
7 CORPORATE CENTER CT
 MAP: 0114 GRID: 0024 PARCEL: 4966
 WESTMINSTER MARYLAND



BZA CASE NUMBER: 20-01
 CITY OF WESTMINSTER
 PROJECT NO.: WSA-18-04
 DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL NAVD 83/91 VERTICAL NAVD 88

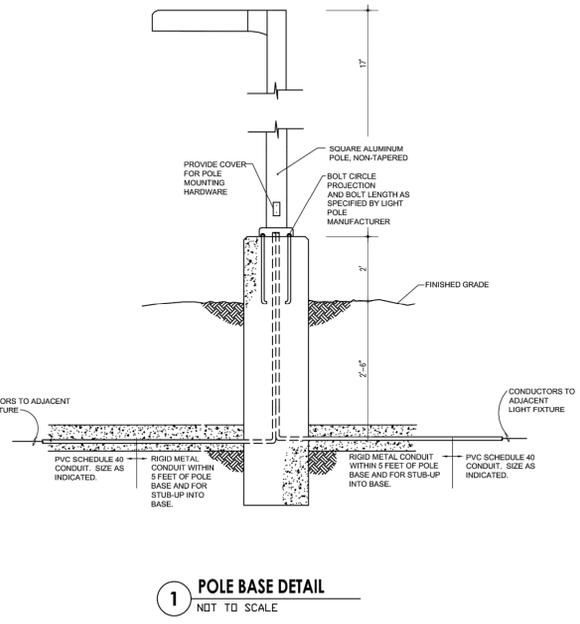
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1 SITE PLAN - LIGHTING CALCULATIONS
 SCALE: 1"=30'-0"
 0 30' 60'

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Diesel Canopy	+	43.4 fc	47.5 fc	35.0 fc	1.4:1	1.2:1
Fuel Canopy	+	30.3 fc	39.8 fc	19.1 fc	2.1:1	1.6:1
Parking Area	+	5.4 fc	15.6 fc	0.8 fc	19.5:1	6.8:1
Spill Lighting	+	0.3 fc	0.9 fc	0.0 fc	N/A	N/A



REFER TO LEASE LINE NOTE ON SHEET 1 OF 17

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
□	SCA1	23	S LITE CO LTD	CLED-HL-7-UNV-S-5-WH	CANOPY	LED 5000K	1	CLED-HL-7-UNV-S-5-WHIES	14754	1	119.7	18'-0"
•	SP1	10	BEACON PRODUCTS	VP-L-96NB-280-5K-T4	LARGE VIPER	C-70-CRI DATA SHOWN IS SCALED FROM 3036	1	VP-L-96NB-280-5K-T4 (1)IES	29122	1	284.52	19'-0"
□	SP3	2	BEACON PRODUCTS	VP-L-96NB-280-5K-T4	LARGE VIPER	C-70-CRI DATA SHOWN IS SCALED FROM 1148116	1	VP-L-96NB-280-5K-T4 (1)IES	29122	1	853.55	19'-0"

BZA CASE NUMBER: 20-01
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 CITY OF WESTMINSTER
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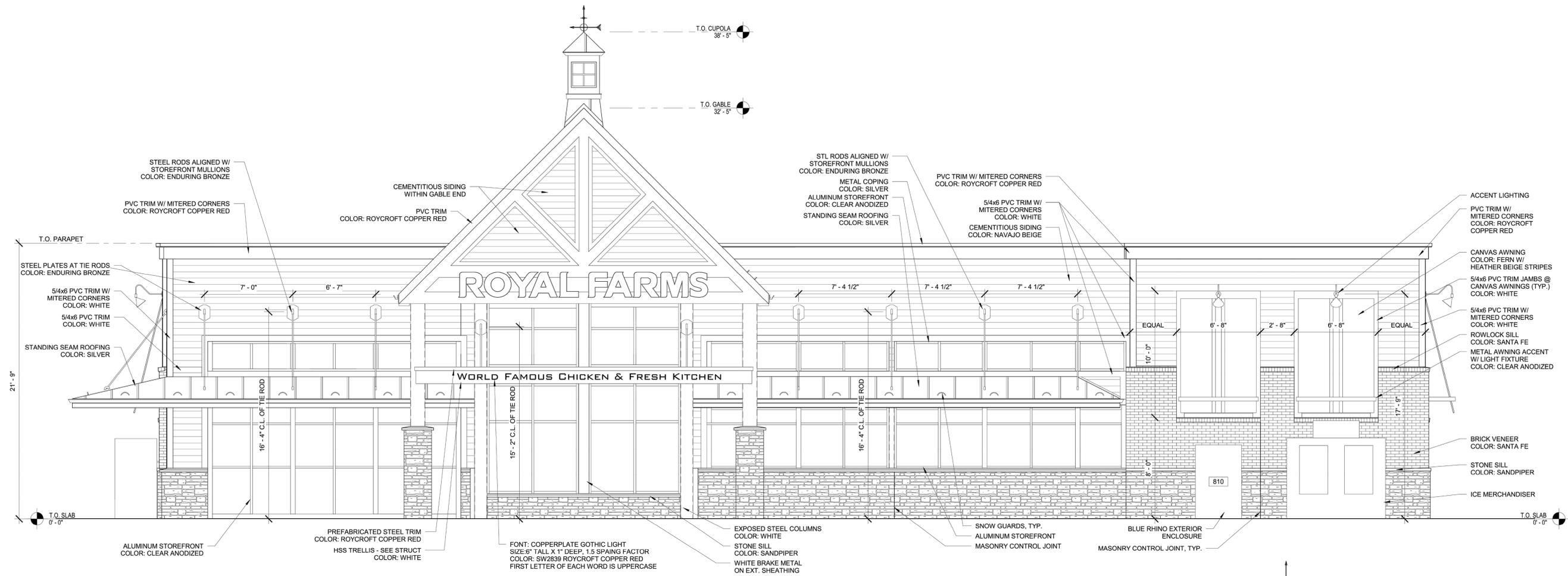
KHA PROJECT: 114068006
 DATE: 04/02/2020
 SCALE: AS SHOWN
 DESIGNED BY: [Redacted]
 DRAWN BY: [Redacted]
 CHECKED BY: [Redacted]

LIGHTING PLAN

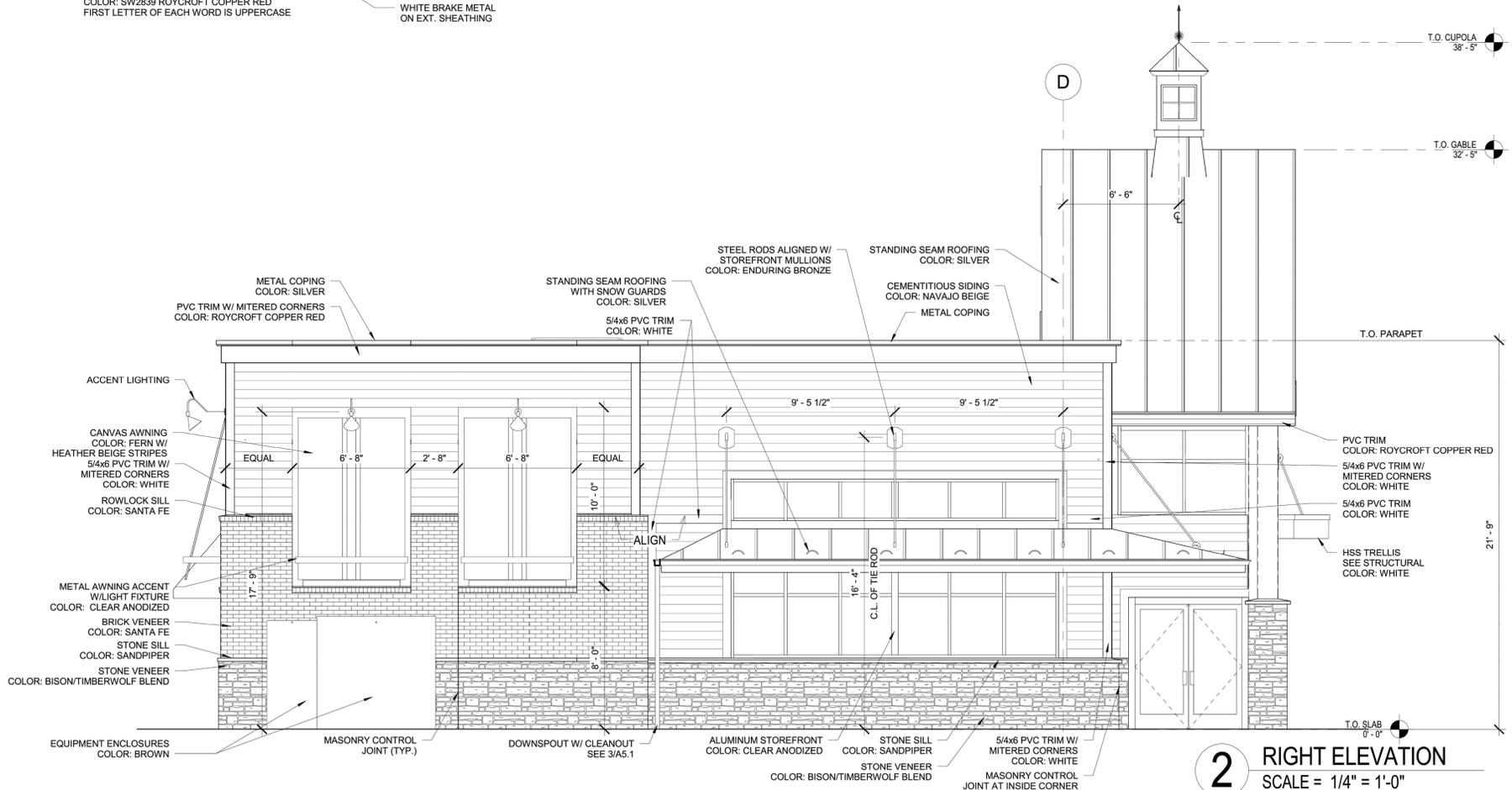
ROYAL FARMS #323
 PREPARED FOR: 7 CORPORATE CENTER CT
 MAP: 0114 GRID: 0024 PARCEL: 4966
 WESTMINSTER, MARYLAND

SHEET NUMBER: 12 OF 17

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1 FRONT ELEVATION
SCALE = 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE = 1/4" = 1'-0"

- NOTE:**
1. PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT TO MATCH ADJACENT MATERIALS.
 2. SEE CIVIL PLANS FOR DETAILED GRADING INFORMATION.

NO.	REVISIONS	DATE	BY

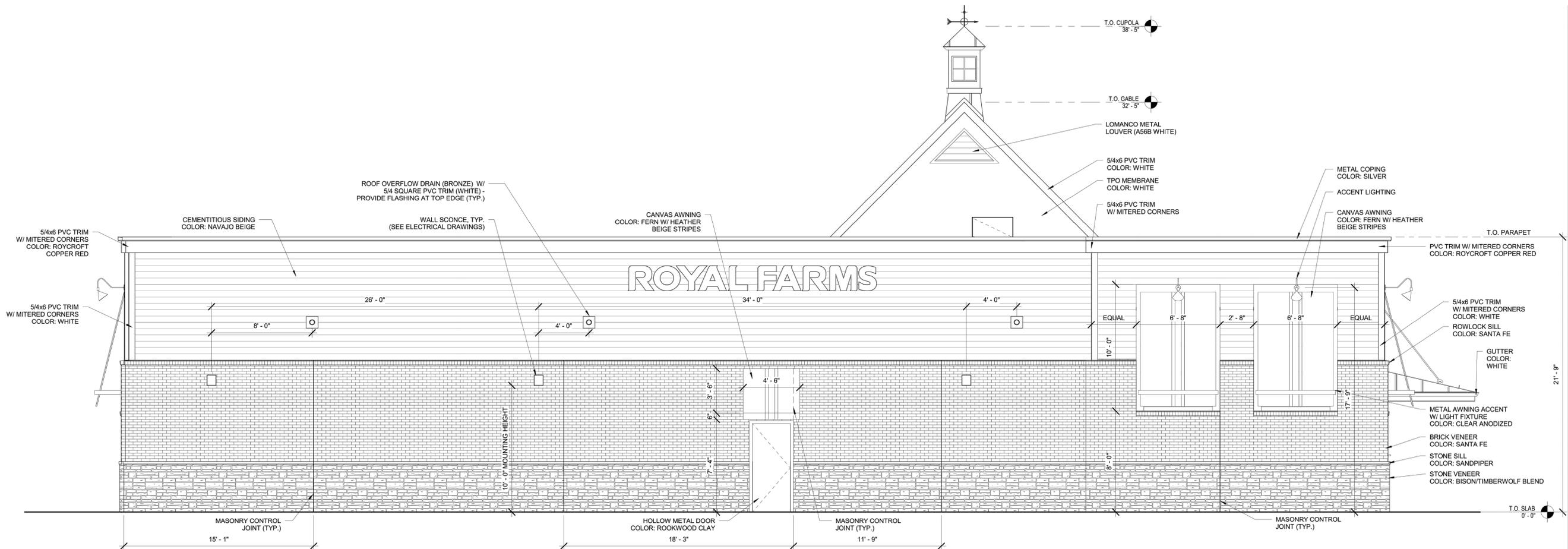
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KHA PROJECT 114068006
DATE 04/02/2020
SCALE AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY

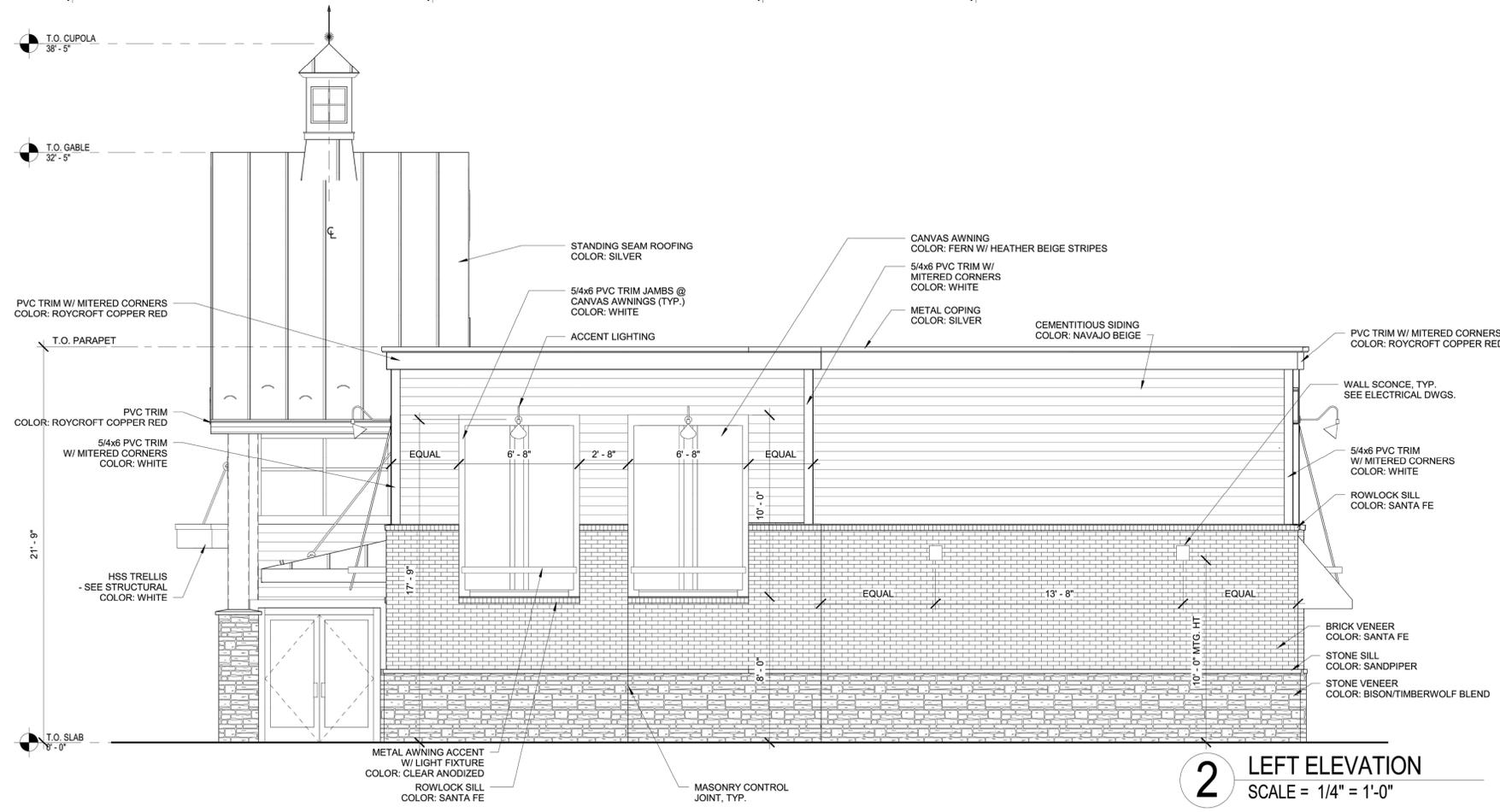
**ARCHITECTURAL
DETAILS**

ROYAL FARMS #323
PREPARED FOR
7 CORPORATE CENTER CT
MAP: 0114 GRID: 0024 PARCEL: 4966
WESTMINSTER MARYLAND

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1 REAR ELEVATION
SCALE = 1/4" = 1'-0"



2 LEFT ELEVATION
SCALE = 1/4" = 1'-0"

- NOTE:**
1. PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT TO MATCH ADJACENT MATERIALS.
 2. SEE CIVIL PLANS FOR DETAILED GRADING INFORMATION.

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KHA PROJECT	114068006
DATE	04/02/2020
SCALE	AS SHOWN
DESIGNED BY	---
DRAWN BY	---
CHECKED BY	---

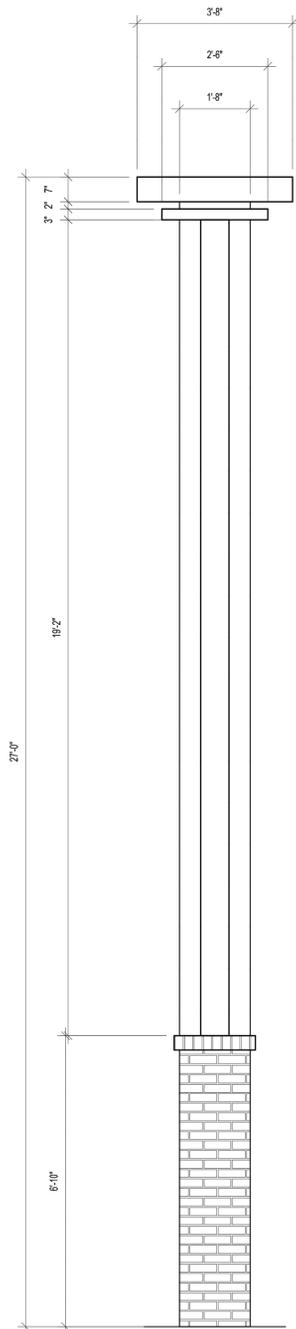
ARCHITECTURAL DETAILS

ROYAL FARMS #323
PREPARED FOR
7 CORPORATE CENTER CT
MAP: 0114 GRID: 0024 PARCEL: 4966
WESTMINSTER MARYLAND

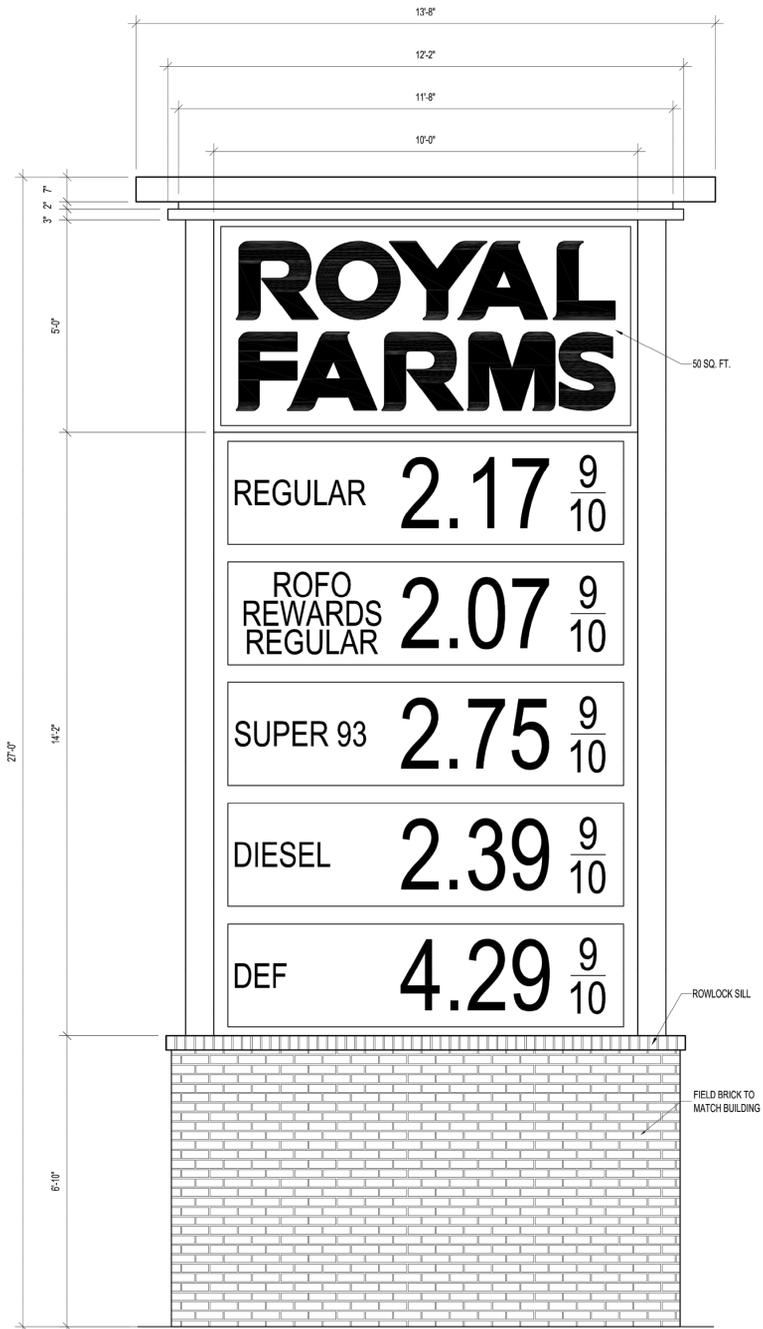
SHEET NUMBER
15 OF 17

BZA CASE NUMBER: 28-01
CARROLL COUNTY FILE NO. S-18-0012
PROJECT NO.: WSA-18-04
DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91 VERTICAL NAVD 88

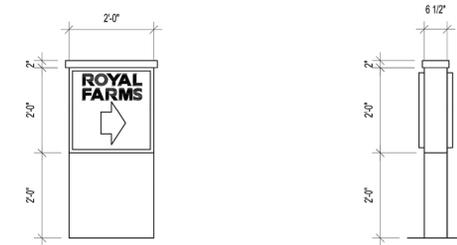
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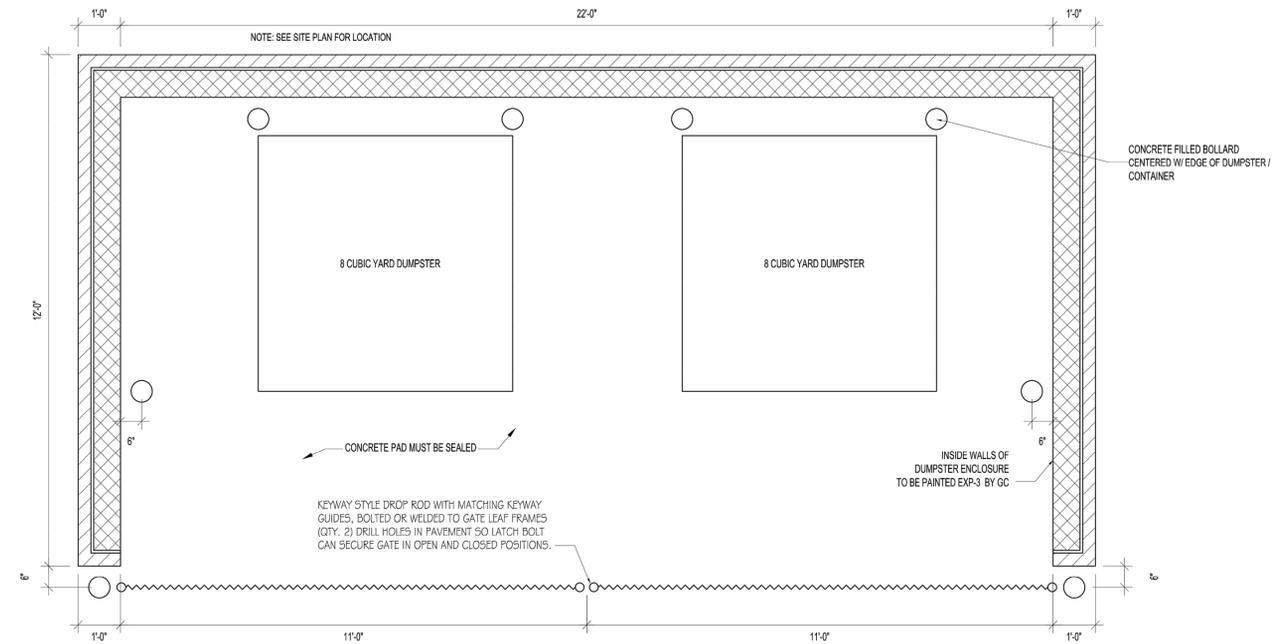
2 MONUMENT SIGN
1/2" = 1'-0"



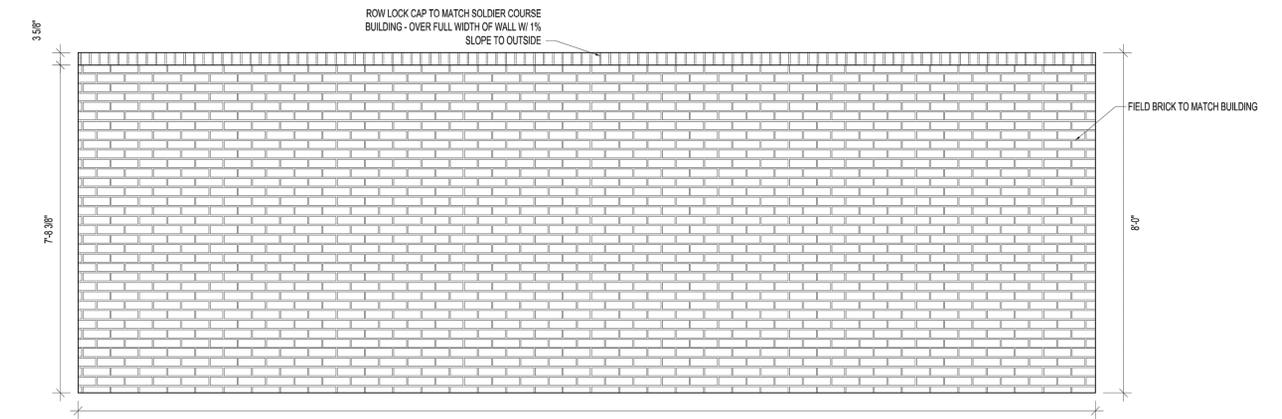
1 ENTRY/EXIT SIGN
1/2" = 1'-0"



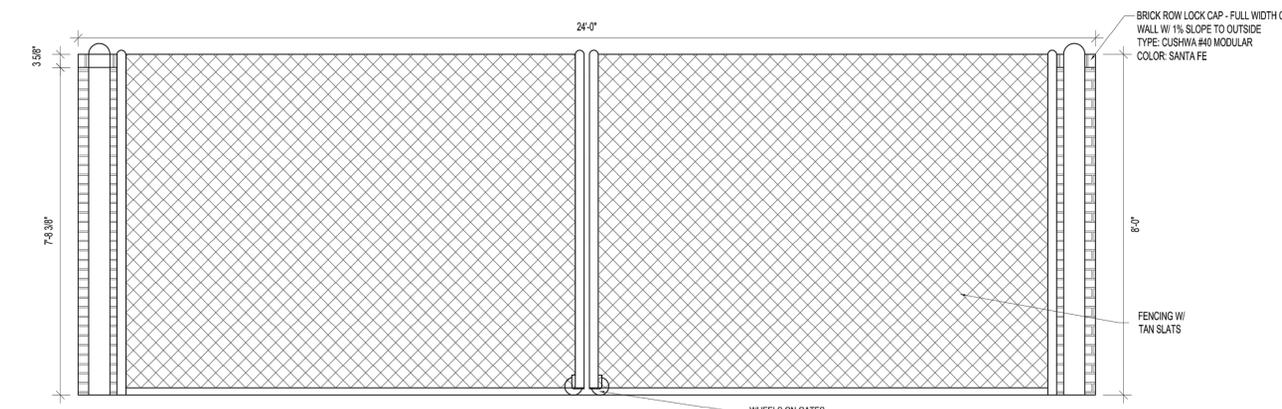
3 DUMPSTER ENCLOSURE - PLAN
1/2" = 1'-0"



4 DUMPSTER ENCLOSURE - REAR ELEVATION
1/2" = 1'-0"



5 DUMPSTER ENCLOSURE - FRONT ELEVATION
1/2" = 1'-0"



No.	REVISIONS	DATE	BY

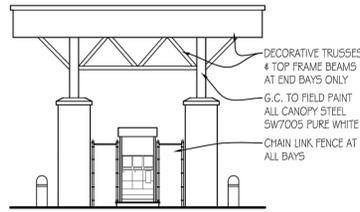
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KHA PROJECT	114068006
DATE	04/02/2020
SCALE	AS SHOWN
DESIGNED BY	---
DRAWN BY	---
CHECKED BY	---

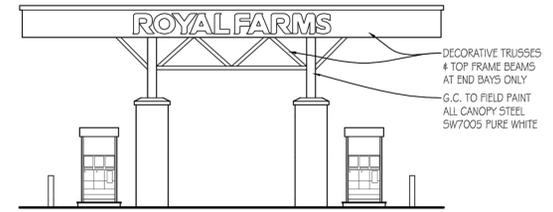
**ARCHITECTURAL
DETAILS**

ROYAL FARMS #323
PREPARED FOR
7 CORPORATE CENTER CT
MAP: 0114 GRID: 0024 PARCEL: 4966
WESTMINSTER MARYLAND

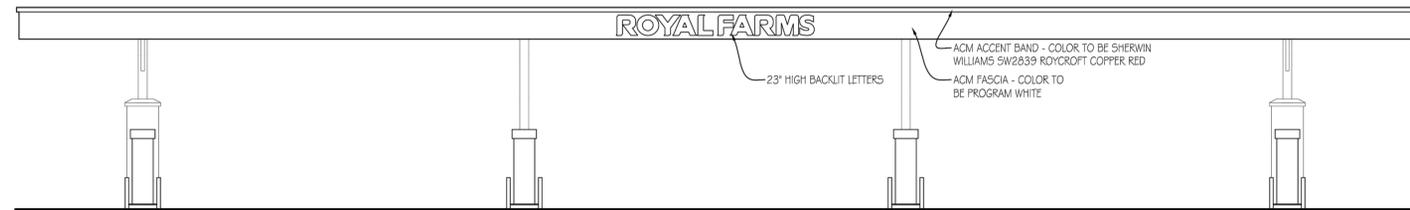
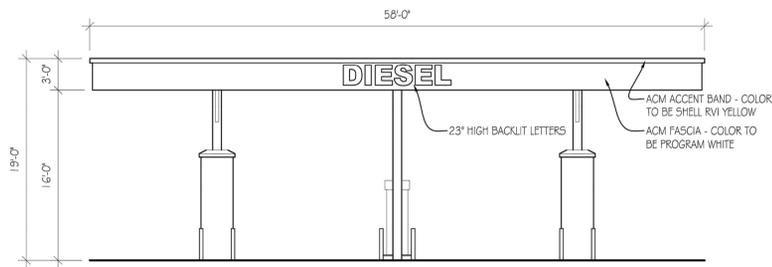
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4 DIESEL CANOPY SIDE ELEVATION
1/8" = 1'-0"

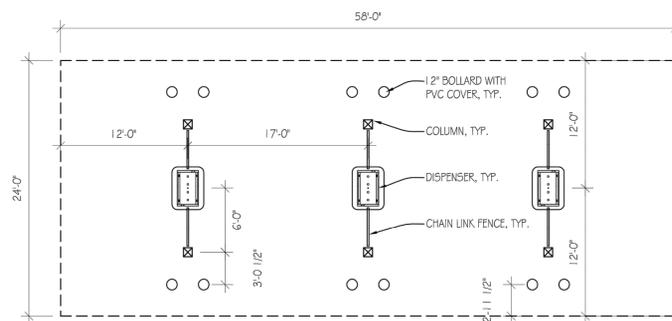


3 FUEL CANOPY SIDE ELEVATION
1/8" = 1'-0"

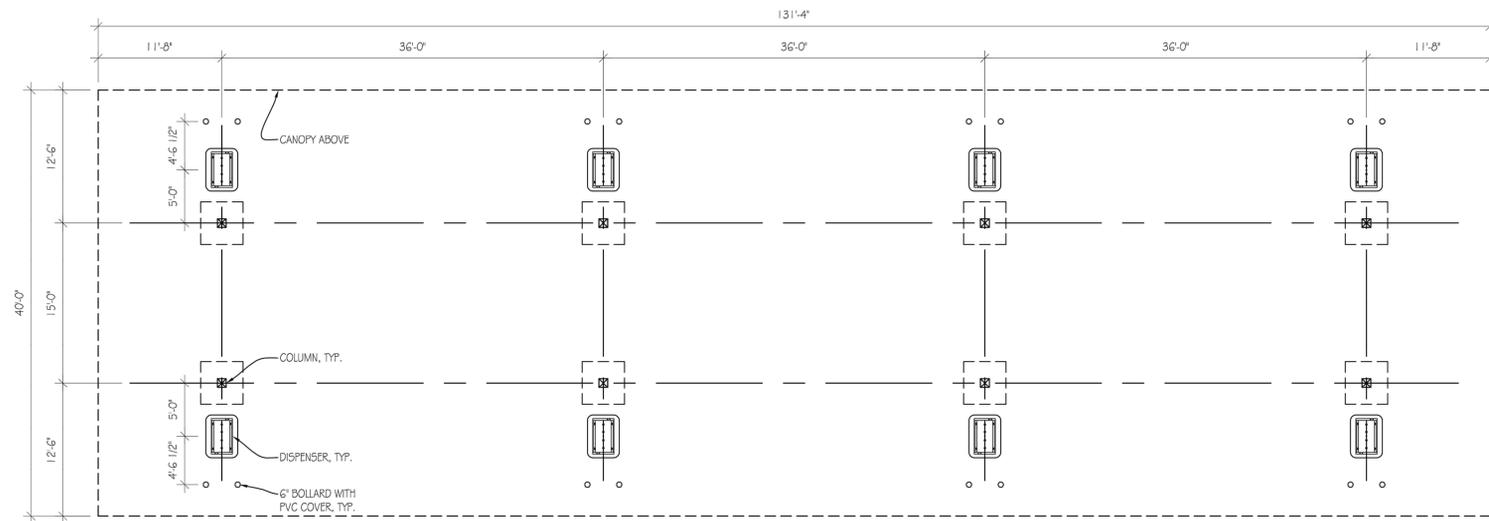


5 DIESEL CANOPY FRONT ELEVATION
1/8" = 1'-0"

2 FUEL CANOPY FRONT ELEVATION
1/8" = 1'-0"



6 DIESEL CANOPY PLAN
1/8" = 1'-0"



1 FUEL CANOPY PLAN
1/8" = 1'-0"

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**ARCHITECTURAL
DETAILS**

ROYAL FARMS #323
PREPARED FOR
7 CORPORATE CENTER CT
MAP: 0114 GRID: 0024 PARCEL: 4966
WESTMINSTER MARYLAND

BZA CASE NUMBER: 20-01
CITY OF WESTMINSTER
PROJECT NO.: WSA-18-04
DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83/91 VERTICAL NAVD 88

SHEET NUMBER
17 OF 17



Front Elevation
1/4" = 1'-0"

ROYAL FARMS

ROYAL FARMS #323
7 CORPORATE CENTER COURT
WESTMINSTER, MD
OCTOBER 17TH, 2019

RA RATCLIFFE
ARCHITECTS

10404 Stevenson Road • Stevenson, Maryland 21153
Phone 410-484-7010 • Fax 410-484-3319 • peter@ratcliffearchitects.com

MAP: 0114 GRID: 0024 PARCEL: 4966

SHEET NUMBER
1 OF 6



Rear Elevation
1/4" = 1'-0"

ROYAL FARMS

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OCTOBER 17TH, 2019

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SHEET NUMBER
2 OF 6



Left Side Elevation
1/4" = 1'-0"

Right Side Elevation
1/4" = 1'-0"

ROYAL FARMS

ROYAL FARMS #323
7 CORPORATE CENTER COURT
WESTMINSTER, MD
OCTOBER 17TH, 2019

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MAP: 0114 GRID: 0024 PARCEL: 4966

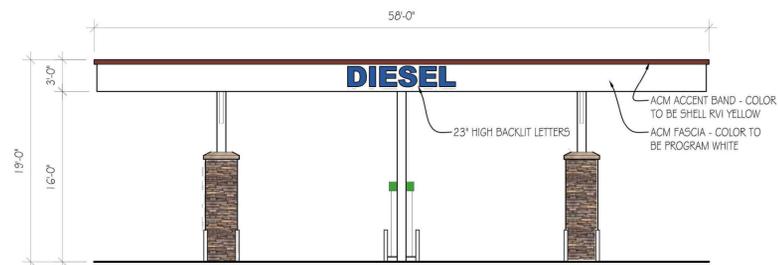
SHEET NUMBER
3 OF 6



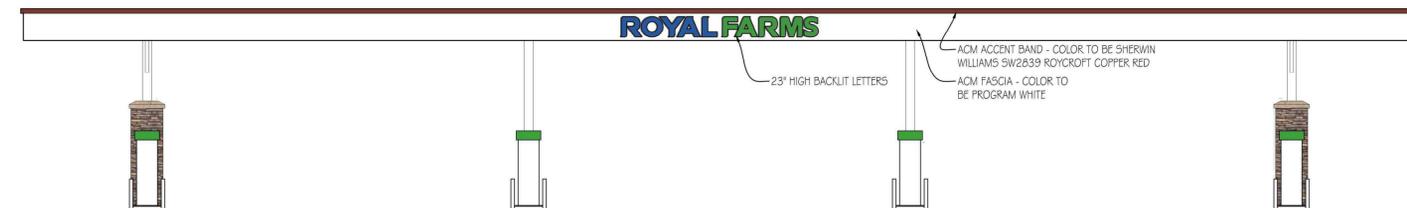
4 DIESEL CANOPY SIDE ELEVATION
1/8" = 1'-0"



2 FUEL CANOPY SIDE ELEVATION
1/8" = 1'-0"



3 DIESEL CANOPY FRONT ELEVATION
1/8" = 1'-0"



1 FUEL CANOPY FRONT ELEVATION
1/8" = 1'-0"

ROYAL FARMS

ROYAL FARMS #323
7 CORPORATE CENTER COURT
WESTMINSTER, MD
OCTOBER 17TH, 2019

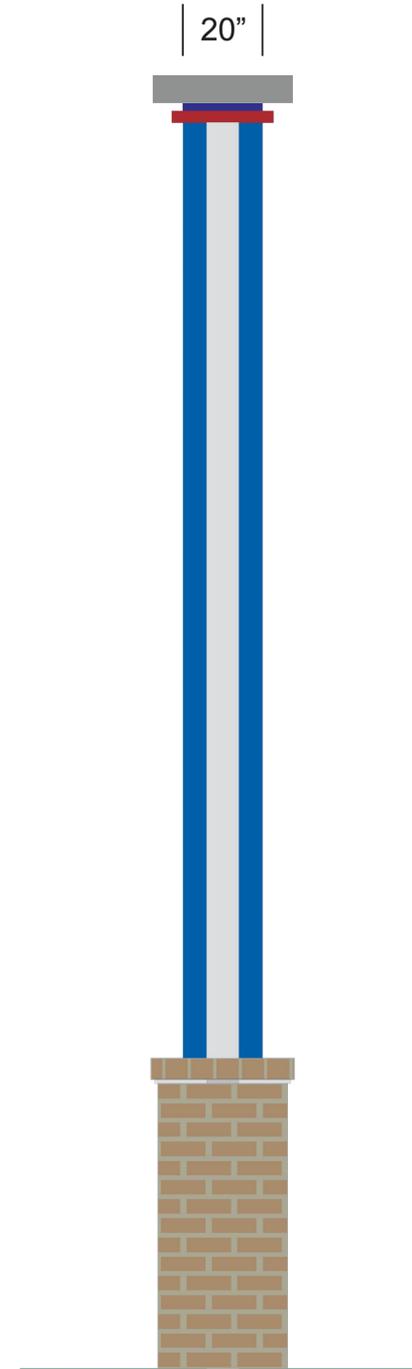
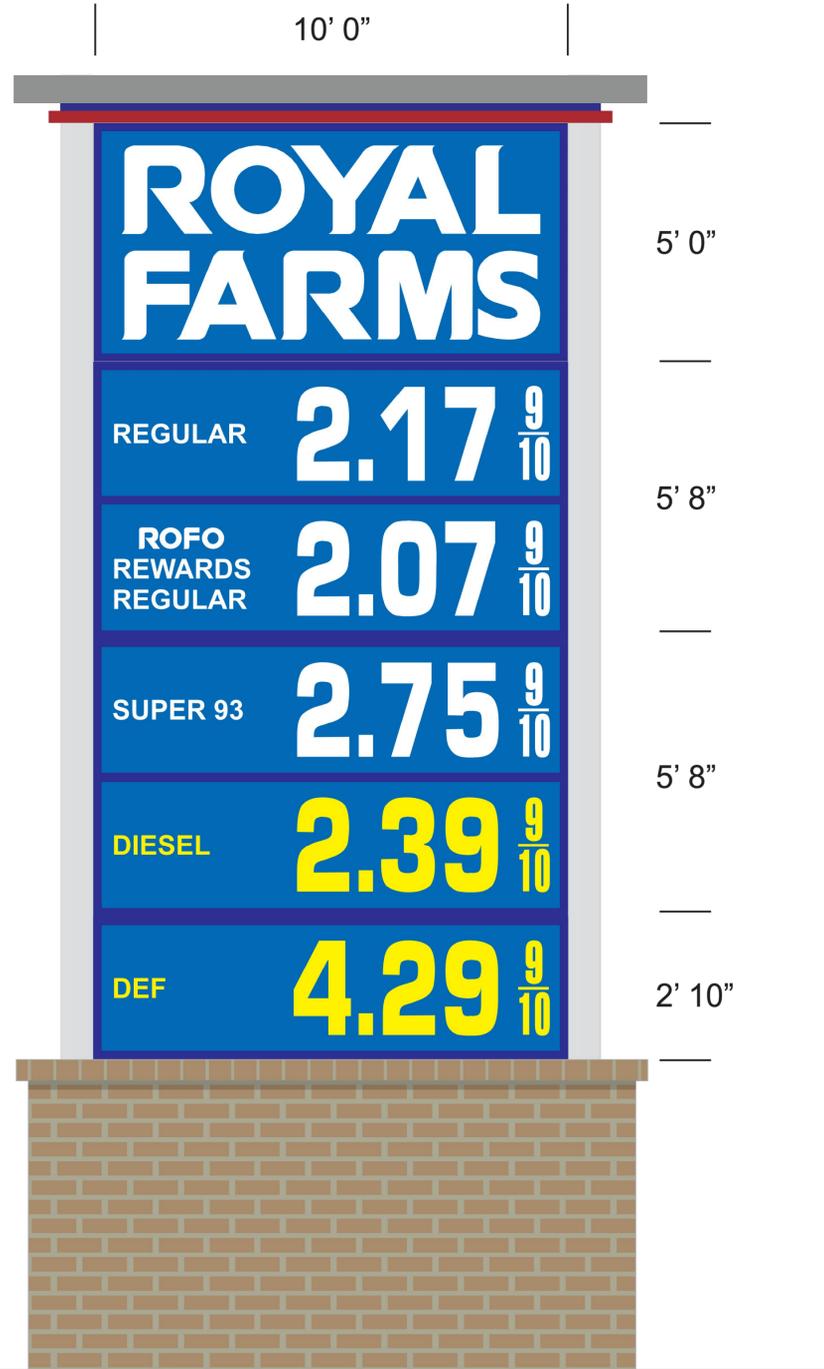
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**PYLON SIGN
SQ. FTG.**

"ROYAL FARMS" - 50 SQ. FT.

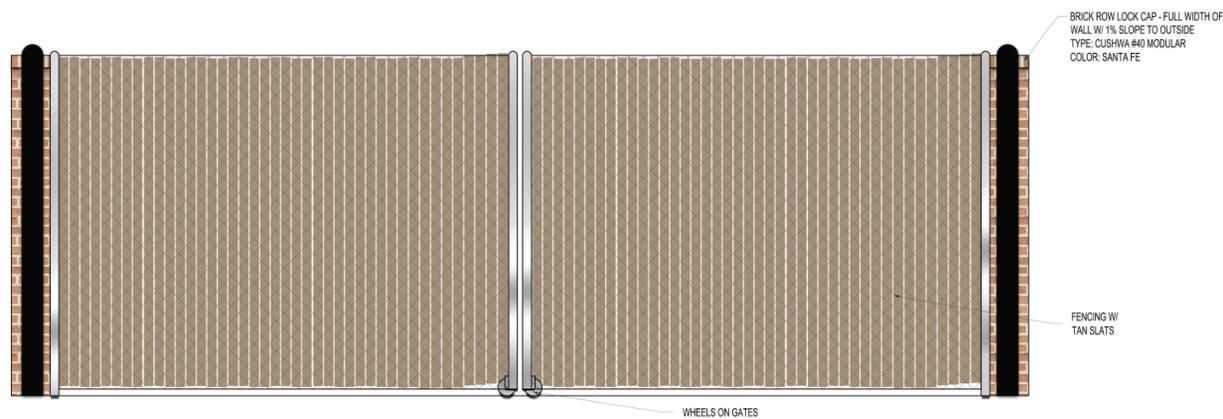
EACH PRICE CABINET = 28 SQ. FT.
5 PRICE CABINETS X 28 SQ. FT.
TOTAL = 190 SQ. FT.



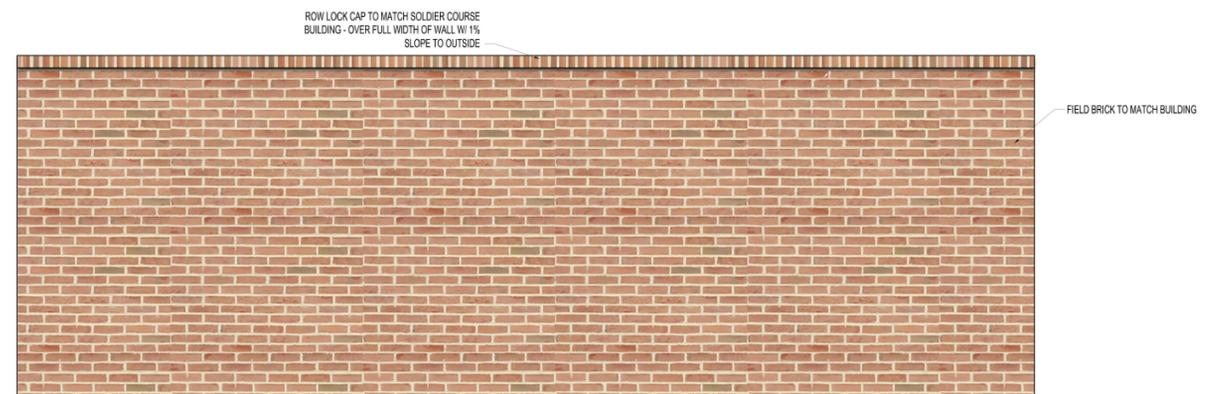
ROYAL FARMS #323
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WESTMINSTER, MD
OCTOBER 17TH, 2019



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Dumpster Enclosure - Front Elevation
 1/2" = 1'-0"



Dumpster Enclosure - Rear Elevation
 1/2" = 1'-0"

ROYAL FARMS

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