

1. BZA AGENDA (JANUARY, 2020) Updated.PDF

Documents:

[BZA AGENDA \(JANUARY, 2020\) AMENDED.PDF](#)

2. Board Of Zoning Appeals Application

Documents:

[BZA CASE 20-01 APPLICATION.PDF](#)

3. Board Of Zoning Appeals Case #20-01 Pre-Hearing Statement
Board Of Zoning Appeals Case #20-01 Pre-Hearing Statement

Documents:

[BZA CASE 20-01 PRE-HEARING STATEMENT.PDF](#)



**CITY OF WESTMINSTER
BOARD OF ZONING APPEALS
AGENDA**

**Tuesday, January 7, 2020, at 6 PM
City Hall, 1838 Emerald Hill Lane
Westminster, Maryland 21157**

- I. Call to Order**
- II. Approval of Minutes**

September 3, 2019 - Closed Meeting
December 3, 2019

- III. Public Hearings**

CASE NO: 20-01

An application by Jack Whisted, Two Farms, Inc and property owner Corporate Center Leasing, LLC, requesting approval of the following variances from Article XII P-I Planned Industrial Zone, Section 164-69 Dimensional Requirements, of the City Code:

1. Variance from the required minimum landscaping of two-and-one-half-inch caliper trees at a minimum of 30 feet on center. The applicant proposes to provide alternative landscaping along Littlestown Pike.
2. Variance from the required minimum landscaping of a similarly landscaped earth mound at least three feet high between the parking area and any adjacent residential district or public right-of-way. The applicant proposes to provide a 0-foot earth mound along Littlestown Pike and provide alternative landscaping.

The applicant is also requesting approval of the following variance from Article XII: P-I: Planned Industrial Zone, Section 164-70 Off-street parking, of the City Code:

3. Variance from the required off-street parking requirements of when the lot on which parking spaces are located abuts the rear or side lot line of or is across the street from any land in a residential zone other than publicly owned land, a wall, fence or evergreen planting shall be maintained so as to screen substantially the parking lot from view from the nearest property in the residential zone... The applicant proposes a landscaping buffer in lieu thereof along Littlestown Pike.

These variances are for property located at 7 Corporate Center Court, in Westminster, Maryland.

IV. Other Business

V. Adjournment

SHAFFER AND SHAFFER, LLP
ATTORNEYS AT LAW
73 EAST MAIN STREET
WESTMINSTER, MARYLAND 21157

410/848-3737
410/876-0100
FAX: 410/848-3977

CLARK R. SHAFFER
CLARK@SHAFFERANDSHAFFERLLP.COM

KELLY SHAFFER MILLER
KELLY@SHAFFERANDSHAFFERLLP.COM

STACY P. SHAFFER
STACY@SHAFFERANDSHAFFERLLP.COM

December 2, 2019

Mr. Andrew Gray
Winchester West
56 West Main Street
Westminster, Maryland 21157

BY EMAIL & HAND DELIVERY
(on 12/3/19)

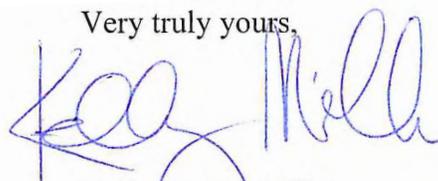
RE: Royal Farms BZA Application

Dear Mr. Gray:

Enclosed for filing on behalf of my client, Royal Farms, please find an application to the Board of Zoning Appeals for multiple variances from the requirement in Sections 164-57, 164-69 and 164-71 of the City Code. Also enclosed please find a check in the amount of One Thousand Dollars (\$1,000.00) for the filing fee.

Thank you in advance for your prompt attention to this matter. Please do not hesitate to contact our office with any questions or concerns.

Very truly yours,

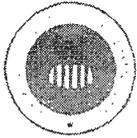


Kelly Shaffer Miller

Enclosures

Cc: File Copy
Royal Farms c/o Jeff Bainbridge (by email only)
Kimley-Horn c/o Jennifer Leonard (by email only)
Corporate Center Leasing c/o Robert Rosen (by email only)

Application Fees
See fees below, plus City legal fees and court reporter fees, payable to *City of Westminster*



For Office Use Only

Case No.: 20-01
Form Received: 12-2
Fee Paid: 12-3-19
DCPD Reviewed: _____
Appeal Received: _____
Court Review: _____

CITY OF WESTMINSTER
56 WEST MAIN STREET
WESTMINSTER, MD 21157

APPLICATION FOR PUBLIC HEARING BEFORE THE BOARD OF ZONING APPEALS

In accordance with the Charter and Code of the City of Westminster, an application is made to the Board as follows:

- | | |
|--|--|
| 1. Purpose of Hearing: | Applicable Fees: |
| <input type="checkbox"/> Request for special exception | \$1,500, unless owner-occupied or day care \$300 |
| <input checked="" type="checkbox"/> Request for variance | \$1,000, unless owner occupied \$200 |
| <input type="checkbox"/> Appeal of admin decision | \$600 |
| <input type="checkbox"/> Nonconforming uses | No fee |

2 Applicant Information:
Name: Jack Whisted *Two Farms, LLC* Address: 3611 Roland Ave, Baltimore, MD 21211
Telephone: (410) 889-0200 Fax: _____ E-Mail: jwhisted@royalfarms.com

3 Property Owner Information: (if Different)
Name: Corporate Center Leasing, LLC Address: 8601 Lasalle Rd, Suite 204, Towson, MD 21286
Telephone: (410) 823-0282 Fax: _____ E-Mail: mkimos@lee-associates.com

4 Attorney Information: (if Applicable)
Name: Kelly Shaffer Miller, Shaffer and Shaffer, LLP Address: 73 E Main St #1, Westminster, MD 21157
Telephone: (410) 848-3737 Fax: 410-848-3977 E-Mail: kelly@shafferandshafferllp.com

5. Address of Subject Property: 7 Corporate Center Court , Westminster, MD 21158

- 6. Request Description:** Variances from the following provisions:
- 1) two-and-one-half-inch caliper trees at a minimum of 30' on center [§164-69 B. (3)] [164-57]*
 - 2) Landscaped earth mound at least 3' high between the parking area and any adjacent public ROW [§164-69 B. (3)] [164-57]*
 - 3) Wall/fence or evergreen buffer required because property is across the street from residentially zoned properties [§164-71] *

*All as shown and explained on attached Plan.

Please note that applications for public hearings must comply with the provisions and requirements in Chapter 164, Zoning & Subdivision of Land, City of Westminster Code. All applicants are advised to review the Rules of Order and Procedure before applying.

Application for Public Hearing before the Board of Zoning Appeals (Continued - Page 2)

Subject Property - Owner's Address: 8601 Lasalle Rd, Suite 204, Towson, MD 21286

Using SDAT, provide names and addresses of owners of all adjacent properties – including names and addresses of owners of properties on opposite sides of streets or alleys.

- Property 1: CORPORATE CENTER LEASING LLC - PAR C -LITTLESTOWN PIKE WESTMINSTER 21158
- Property 2: CORPORATE CENTER LEASING LLC-CORPORATE CENTER CT WESTMINSTER 21157 CONDO UNIT: 1
- Property 3: CORPORATE CENTER LEASING LLC - 715 CORPORATE CENTER CT WESTMINSTER 21158 CONDO UNIT: 2
- Property 4: CORPORATE CENTER LEASING LLC - CORPORATE CENTER CT WESTMINSTER 21158 CONDO UNIT: 6
- Property 5: NEW LIFE FOR GIRLS INC - 806 LITTLESTOWN PIKE WESTMINSTER 21157
- Property 6: BAUGHER NATHAN A - 810 LITTLESTOWN PIKE WESTMINSTER 21157
- Property 7: WHALEY KOREEN K - 814 LITTLESTOWN PIKE WESTMINSTER 21157
- Property 8: SULLIVAN MICHAEL J SULLIVAN JOLENE G - 818 LITTLESTOWN PIKE WESTMINSTER 21157
- Property 9: ECKARD LISA R - 820 LITTLESTOWN PIKE WESTMINSTER 21157
- Property 10: DIMARTINO ANNA MARIE - 824 LITTLESTOWN PIKE WESTMINSTER 21157
- Property 11: _____
- Property 12: _____

CERTIFICATION

I CERTIFY THAT THE FOREGOING INFORMATION AND THE LIST OF ADJOINING PROPERTY OWNERS IS TRUE AND ACCURATE. I AGREE TO ABIDE BY THE RULES OF ORDER AND PROCEDURE FOR THE BOARD OF ZONING APPEALS AND ALL APPLICABLE LAWS.

John M Kemp 12/2/19
APPLICANT'S SIGNATURE / DATE

Robert Rosen 11/29/19
PROPERTY OWNER'S SIGNATURE / DATE
ROBERT ROSEN

John M Kemp 12/2/19
APPLICANT'S PRINTED NAME / DATE
Two Farms Inc.

John M Kemp 12/2/19
APPLICANT'S ATTORNEY SIGNATURE / DATE

Please email signed and dated applications with all required submittals to planning@westgov.com

CITY OF WESTMINSTER STANDARD GENERAL NOTES:

1. THE CONSTRUCTION SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS FOR THE CITY OF WESTMINSTER. THIS WORK IS SUBJECT TO INSPECTION AND ACCEPTANCE BY THE CITY OF WESTMINSTER.
2. THE CONTRACTOR SHALL HAVE A CURRENT COPY OF THE CITY OF WESTMINSTER STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITY SYSTEMS, ROADS AND STORM DRAINAGE AVAILABLE TO HIM AT ALL TIMES DURING HIS OPERATIONS.
3. THE CONTRACTOR SHALL NOTIFY THE CITY OF WESTMINSTER DEPARTMENT OF PUBLIC WORKS AT 410-848-2262 AT LEAST 5 DAYS IN ADVANCE OF STARTING CONSTRUCTION AND SHALL NOT INTERRUPT EXISTING WATER OR SEWER SERVICE WITHOUT FIRST OBTAINING PERMISSION FROM THE DEPARTMENT.
4. THE CONTRACTOR SHALL NOTIFY HIS ENGINEER WHEN PROPOSING FIELD ADJUSTMENTS TO THE TYPE, SIZE, OR LOCATION OF THE INSTALLATIONS SPECIFICALLY SHOWN ON THE PLAN. THE CONTRACTOR SHALL OBTAIN FINAL APPROVAL FROM THE CITY INSPECTOR PRIOR TO COMMENCING WORK ON ALL FIELD CHANGES.
5. THE CONTRACTOR SHALL PROVIDE A CERTIFIED SOILS COMPACTION TECHNICIAN ON SITE AT ALL TIMES DURING FILLING AND BACK FILLING OPERATIONS TO CONTINUOUSLY MONITOR SOIL COMPACTION. TEST RESULTS SHALL BE PROVIDED TO THE CITY INSPECTOR UPON REQUEST.
6. THE CONTRACTOR SHALL CONTACT "MISS UTILITY" AT 1-800-252-7777 IN ADVANCE OF HIS CONSTRUCTION OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL UTILITY OWNERS HAVE EXISTING LINES IN THE AREA ARE PROPERLY NOTICED.
7. THE LOCATIONS OF EXISTING UTILITY LINES SHOWN IN THESE PLANS IS APPROXIMATE ONLY, AND THE CONTRACTOR MUST VERIFY THE LOCATIONS TO HIS OWN SATISFACTION. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT AGAINST DAMAGE TO EXISTING LINES, AND SHALL BE SOLELY RESPONSIBLE FOR THE COST OF REPAIRS INCURRED BY HIS OPERATIONS.
8. THE CONSTRUCTION LAYOUT DATUMS USED HEREIN ARE:
HORIZONTAL: - MARYLAND STATE GRID SYSTEM (NAD 83)
VERTICAL: - U.S.G.S. DATUM (NAVD 83)
9. FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.

GENERAL NOTE

1. THIS SITE IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS PER LETTER FROM THE CARROLL COUNTY DIVISION OF LANDSCAPE AND FOREST CONSERVATION DATED FEBRUARY 1, 1996.
2. FIRE PROTECTION NOTES:
 - 2.1. THE BUILDING IS DESIGNED IN ACCORDANCE WITH APPLICABLE CODES, INCLUDING IBC AND NFPA 101. BUILDING IS EVALUATED FOR OCCUPANT LOAD AND EGRESS CAPACITY, AND IS CONSTRUCTED USING MATERIALS PERMISSIBLE FOR TYPE V-B CONSTRUCTION.
 - 2.2. FIRE EXTINGUISHERS WILL BE PROVIDED INSIDE THE BUILDING INCLUDING A TYPE K EXTINGUISHER NEAR THE EXHAUST HOOD, AND WILL ALSO BE MOUNTED ON THE COLLARS AS THE FUEL TANKS.
 - 2.3. EXHAUST HOOD WILL BE EQUIPPED WITH AN AUTOMATIC FIRE SUPPRESSION SYSTEM IN ACCORDANCE WITH NFPA 96.

CITY STANDARD SIGNATURE BLOCKS:

CITY OF WESTMINSTER, PLANNING AND ZONING COMMISSION

APPROVED: _____ DATE: _____

CITY OF WESTMINSTER, DIRECTOR OF COMMUNITY PLANNING AND DEVELOPMENT

APPROVED: _____ DATE: _____

CITY OF WESTMINSTER, DIRECTOR OF PUBLIC WORKS

APPROVED: _____ DATE: _____

CARROLL COUNTY HEALTH DEPARTMENT

APPROVED: _____ DATE: _____

COMMUNITY WATER AND/OR SEWERAGE SYSTEMS ARE IN CONFORMANCE WITH THE CARROLL COUNTY MASTER PLAN FOR WATER AND SEWER.

ENGINEERS CERTIFICATION

I HEREBY CERTIFY THAT THESE CONSTRUCTION DRAWINGS AND ASSOCIATED COMPUTATIONS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND COMPLY WITH ALL APPLICABLE STANDARDS AND REGULATIONS OF THE CITY OF WESTMINSTER. I HAVE REVIEWED THESE DOCUMENTS WITH THE OWNER/DEVELOPER.

NAME(S) PRINTED: _____ DATE: _____

MARYLAND REGISTRATION NUMBER: No. _____

SIGNED: _____ DATE: _____

OWNER/DEVELOPER CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWINGS HAS BEEN REVIEWED BY ME/US AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CITY OF WESTMINSTER PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS MADE.

NAME(S) PRINTED: _____ DATE: _____

SIGNED: _____ DATE: _____

WATER INFORMATION

WATER METER SIZE	2"
SIZE OF SPRINKLER CONNECTION	NONE
NUMBER OF NEW FIRE HYDRANTS	0

BENCHMARKS

"COMMERCIAL"
ELEV: 770.07
NORTH: 70285.26
EAST: 191007.16

"COMMERCIAL 2"
ELEV: 769.49
NORTH: 70271.40
EAST: 191006.58

SURVEYOR

KARINS AND ASSOCIATES
ATTN: JOHN METTIE, PLS.
2113 EMMINGTON PARK ROAD
SUITE 100
EDGESWOOD, MD 21040
TEL: (410) 612-9500
EMAIL: J.METTIE@KARINSENGINEERING.COM

DEVELOPER

ROYAL FARMS
ATTN: ANCK WHISTED
3811 ROLAND AVE
BALTIMORE, MD 21211
TEL: (410) 888-1200
TEL: (410) 612-9262
EMAIL: J.WHISTED@ROYALFARMS.COM

PROPERTY OWNER

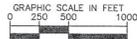
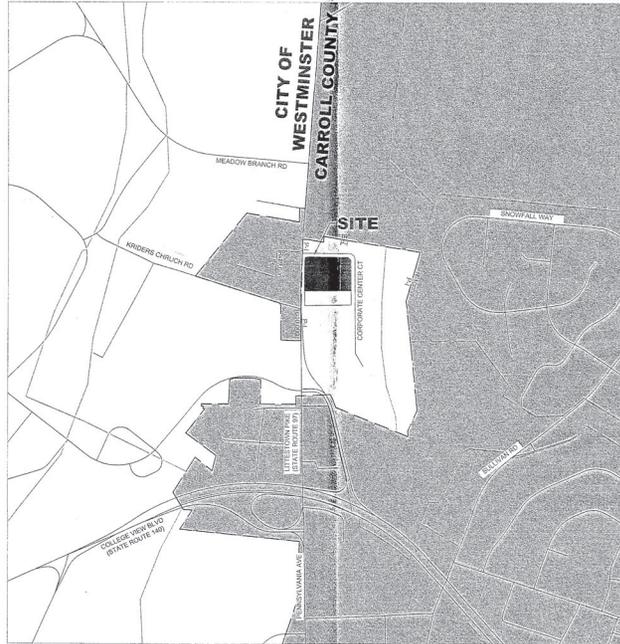
CORPORATE CENTER LEASING, LLC
C/O LEE CHESAPEAKE PROPERTY MANAGEMENT
801 LUSALLE RD
SUITE 204
TOWSON, MD 21286
TEL: (410) 626-0262
EMAIL: M.KIRKINS@LEE-ASSOCIATES.COM

**LANDSCAPE ARCHITECT/
CIVIL ENGINEER**

ROYAL FARMS
KIMLEY HORN
ATTN: JENNIFER LEONARD, PLA | MELANIE DEFAZIO, PE
1801 PORTER ST
SUITE 401
BALTIMORE, MD 21202
TEL: (443) 743-5470
EMAIL: JLEONARD@KIMLEY-HORN.COM

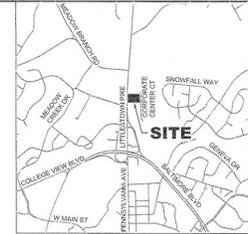
ARCHITECT

RATCLIFFE ARCHITECTS
15834 STEVENSON ROAD
STEVENSON, MD 21153
TEL: (410) 484-7010
EMAIL: INFO@RATCLIFFEARCHITECTS.COM



LOCATION PLAN

SCALE: 1" = 500'



VICINITY MAP
SCALE: 1" = 2,000'

Sheet List Table

Sheet Number	Sheet Title
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	DEMOLITION PLAN
4	CONCEPT SITE PLAN
5	SITE DETAILS
6	SITE DETAILS
7	SIGN DETAILS
8	FINAL LANDSCAPE PLAN
9	CONCEPT STORMWATER PLANTING DETAILS
10	LANDSCAPE NOTES
11	LIGHTING PLAN
12	LIGHTING DETAILS
13	ARCHITECTURAL DETAILS
14	ARCHITECTURAL DETAILS
15	ARCHITECTURAL DETAILS
16	ARCHITECTURAL DETAILS

SITE INFORMATION:

1. AREA TABULATIONS:
 - 1.1. TOTAL PARCEL AREA: 169,798 S.F. / 3.858 AC
 - 1.2. PROPOSED LEASE AREA: 112,866 S.F. / 2.579 AC
 - 1.3. EXISTING IMPERVIOUS AREA: 904 S.F. / 0.021 AC
 - 1.4. PROPOSED IMPERVIOUS AREA: 83,504 S.F. / 1.917 AC
 - 1.5. TOTAL DISTURBANCE AREA: 128,054 S.F. / 2.954 AC
2. PARKING REQUIREMENTS
 - 2.1. REQUIRED: 1 SPACE PER 250 S.F. / 1203' x 104 S.F. = 121 SPACES
 - 2.2. PROVIDED: 96 SPACES
3. EXISTING ZONING: P-1 PLANNED INDUSTRIAL ZONE
4. EXISTING LAND USE: VACANT CONVENIENCE STORE WITH FUEL PUMPS
5. PROPOSED LAND USE: VACANT CONVENIENCE STORE WITH FUEL PUMPS
6. PROPERTY INFORMATION:
 - 6.1. TAX ACCOUNT NUMBER: 0707157274
 - 6.2. DEED REFERENCE: 04245011
 - 6.3. MAP: 0114
 - 6.4. GRID: 0024
 - 6.5. PARCEL: 4966
 - 6.6. ELECTION DISTRICT: 07
 - 6.7. MUNICIPALITY: CITY OF WESTMINSTER
 - 6.8. COUNTY: CARROLL COUNTY
 - 6.9. STATE: MARYLAND
 - 6.10. PLAT: 51-046
6. BUILDING AREA: 5,154 S.F.
7. NEAREST FIRE PROTECTION: NE CORNER OF CORPORATE CENTER COURT AND CARROLL COUNTY COMMERCE CENTER NORTH DRIVE EXISTING FIRE HYDRANT
8. CARROLL COMMERCE CENTER IS WITHIN THE WESTMINSTER CITY LIMITS WHILE THE PROPERTIES ACROSS LITTLE TOWN ROAD PKB ARE NOT
9. THE SURVEY WAS COMPLETED BY DEWBERRY (FEBRUARY 2016) AND VERIFIED IN THE FIELD BY KARINS

NO.	REVISIONS	DATE	BY

Kimley Horn
© 2019 Kimley Horn and Associates, Inc.
1807 ROUTE 111, SUITE 400, BALTIMORE, MD 21230
PHONE: 410-743-5470
WWW.KIMLEY-HORN.COM



PROFESSIONAL CERTIFICATION NUMBER: 114919
I AM A PROFESSIONAL ENGINEER REGISTERED AND LICENSED BY THE STATE OF MARYLAND UNDER THE LAWS OF THE STATE OF MARYLAND.
EXPIRES: 12/31/2024

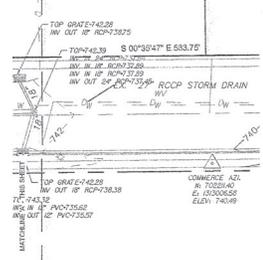
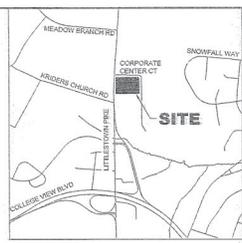
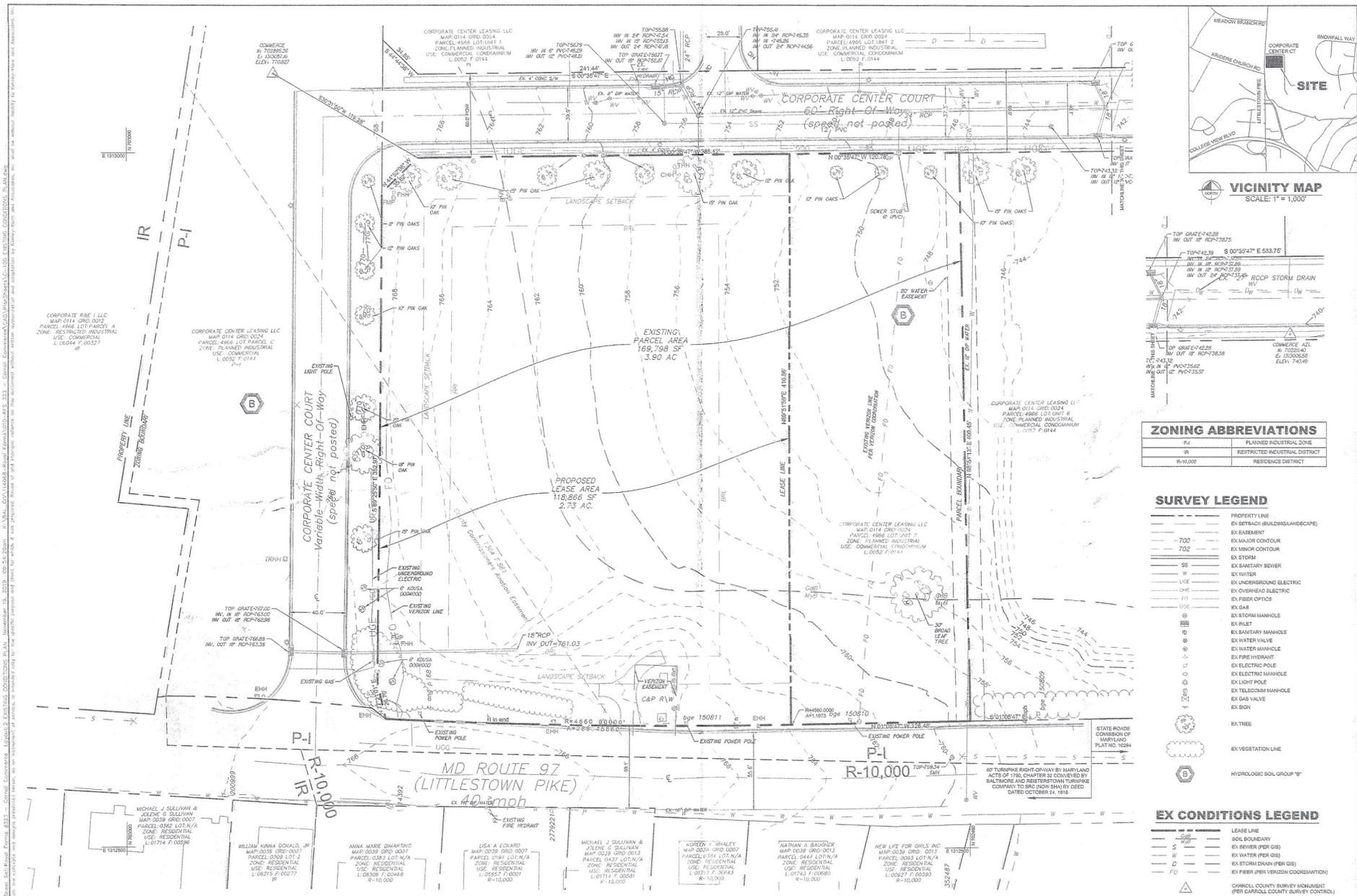
MIA PROJECT: 114-02006
DATE: 11/19/2019
SCALE: AS SHOWN
DESIGNED BY: JLN
DRAWN BY: JLN
CHECKED BY: JLN

ROYAL FARMS #323
PREPARED FOR:
7 CORPORATE CENTER CT
MAP: 0114 GRID: 0024 PARCEL: 4966
WESTMINSTER MARYLAND

Printed by: jln Date: 11/19/2019 10:34:56am File: \\MAIL-CVA114506-Royal Farms\323 - Carrol Commerce Center\DWG\Sheet\114-02006-COVER.dwg
This document together with the complete set of drawings, attachments, notes, or instructions is to be used only for the project and site for which it was prepared. Reuse of any portion of this document without written authorization and consent by Kimley Horn and Associates, Inc. shall be strictly prohibited and is hereby disallowed.

CALL 48 HOURS BEFORE YOU DIG
IT'S THE LAW!
DIAL 811
Know what's below. Call before you dig.

CARROLL COUNTY FILE NO. S-19-0012
CITY OF WESTMINSTER PROJECT NO.: WATER SEWER
DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM HORIZONTAL NAVD 83 VERTICAL NAVD 88



ZONING ABBREVIATIONS	
PI	PLANNED INDUSTRIAL ZONE
R-10,000	RESTRICTED INDUSTRIAL DISTRICT RESIDENCE DISTRICT

SURVEY LEGEND	
—	PROPERTY LINE
---	EX SETBACK (BUILDING/LANDSCAPE)
-700	EX MAJOR CONTOUR
-702	EX MINOR CONTOUR
SS	EX STORM
W	EX SANITARY SEWER
USE	EX WATER
USE	EX UNDERGROUND ELECTRIC
USE	EX OVERHEAD ELECTRIC
FO	EX FIBER OPTICS
EX GAS	EX GAS
EX STORM MANHOLE	EX STORM MANHOLE
EX INLET	EX SANITARY MANHOLE
EX WATER VALVE	EX WATER VALVE
EX WATER MANHOLE	EX WATER MANHOLE
EX FIRE HYDRANT	EX FIRE HYDRANT
EX ELECTRIC POLE	EX ELECTRIC POLE
EX ELECTRIC MANHOLE	EX ELECTRIC MANHOLE
EX LIGHT POLE	EX LIGHT POLE
EX TELECOM MANHOLE	EX TELECOM MANHOLE
EX GAS VALVE	EX GAS VALVE
EX BIOM	EX BIOM
EX TREE	EX TREE
EX VEGETATION LINE	EX VEGETATION LINE
HYDROLOGIC SOIL GROUP "B"	HYDROLOGIC SOIL GROUP "B"

EX CONDITIONS LEGEND	
---	LEASE LINE
---	SOL BOUNDARY
S	EX SEWER (PER GIS)
W	EX WATER (PER GIS)
D	EX STORM DRAIN (PER GIS)
FO	EX FIBER (PER VERICON COORDINATION)

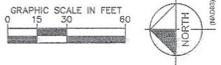
EXISTING UTILITY NOTE

1. PER COOPERATION WITH CITY OF WESTMINSTER DEPARTMENT OF PUBLIC WORKS ON 11/19/2019, THE WATER AND SEWER SHOWN IN CORPORATE CENTER COURT WERE BUILT AS PART OF THE GARROLL COUNTY COMMERCIAL CENTER (GARROLL COUNTY FILE # P-14-14) DATED 10/11/16, SPECIFICALLY SHEETS 58 THROUGH 61.

GARROLL COUNTY PROJECT NO. 8-18-012 CITY OF WESTMINSTER DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: WATER: ... SEWER: ... HORIZONTAL: NAD 83 VERTICAL: NAVD 88

EXISTING CONDITIONS PLAN

SCALE: 1" = 30'



CALL 48 HOURS BEFORE YOU DIG
IT'S THE LAW: DIAL 811
Know what's below. Call before you dig.

DATE: BY: REVISIONS: No. No. No.

Kimley-Horn
© 2019 Kimley-Horn and Associates, Inc.
1601 POWERS ST., SUITE 400, BALTIMORE, MD 21202
PHONE: 410-793-8370
WWW.KIMLEY-HORN.COM

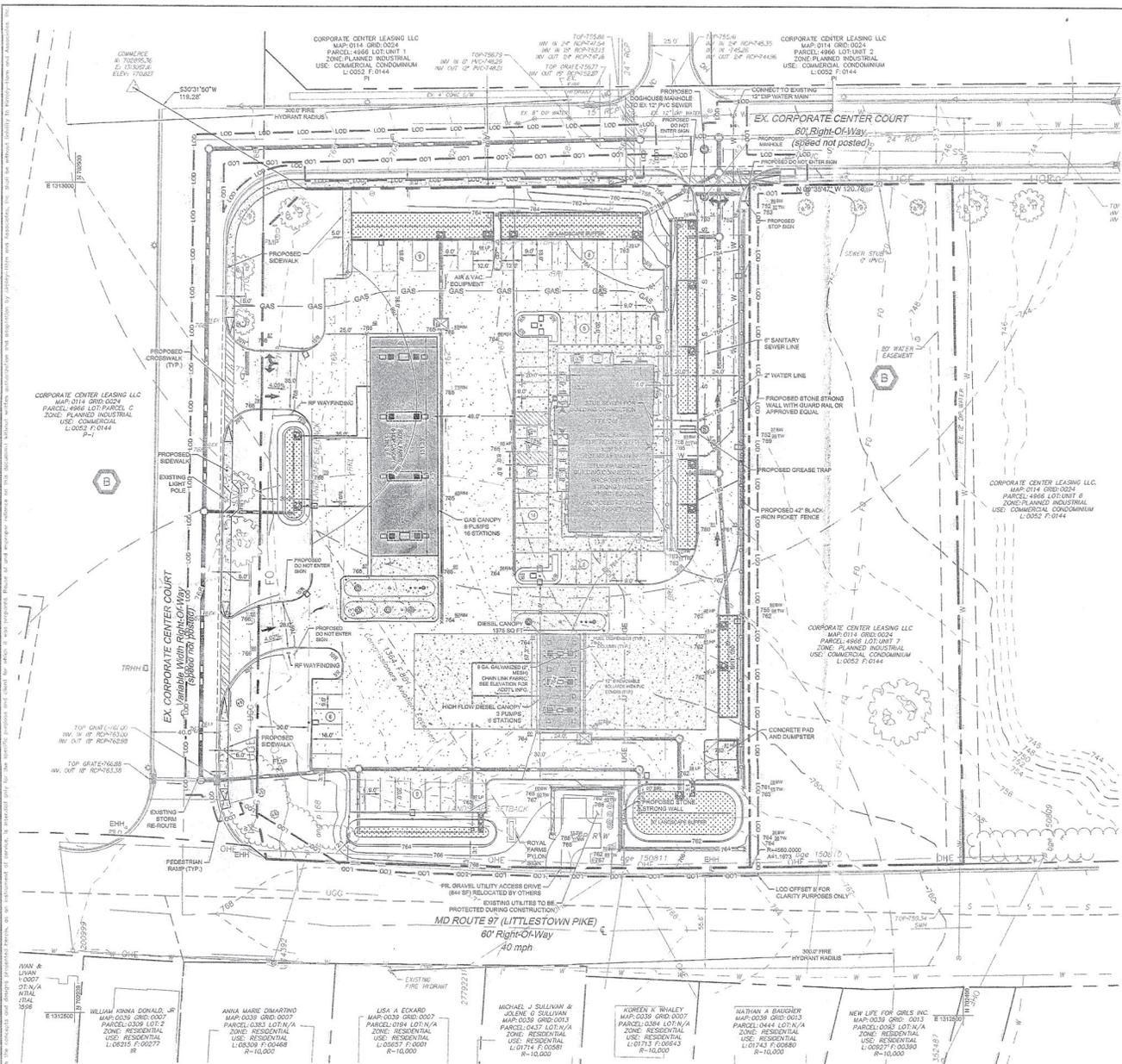
Professional Corporation License No. 111-145
Professional Engineer License No. 111-145
Professional Surveyor License No. 111-145
Professional Land Surveyor License No. 111-145
Professional Geotechnical Engineer License No. 111-145
Professional Environmental Engineer License No. 111-145
Professional Civil Engineer License No. 111-145
Professional Mechanical Engineer License No. 111-145
Professional Electrical Engineer License No. 111-145
Professional Chemical Engineer License No. 111-145
Professional Industrial Engineer License No. 111-145
Professional Nuclear Engineer License No. 111-145
Professional Aeronautical Engineer License No. 111-145
Professional Astronautical Engineer License No. 111-145
Professional Biomedical Engineer License No. 111-145
Professional Biotechnology Engineer License No. 111-145
Professional Environmental Engineer License No. 111-145
Professional Environmental Scientist License No. 111-145
Professional Environmental Planner License No. 111-145
Professional Environmental Analyst License No. 111-145
Professional Environmental Monitor License No. 111-145
Professional Environmental Inspector License No. 111-145
Professional Environmental Auditor License No. 111-145
Professional Environmental Consultant License No. 111-145
Professional Environmental Engineer License No. 111-145
Professional Environmental Scientist License No. 111-145
Professional Environmental Planner License No. 111-145
Professional Environmental Analyst License No. 111-145
Professional Environmental Monitor License No. 111-145
Professional Environmental Inspector License No. 111-145
Professional Environmental Auditor License No. 111-145
Professional Environmental Consultant License No. 111-145

PROJECT: R-10,000
DATE: 11/19/2019
SCALE: AS SHOWN
DESIGNED BY: JHR
DRAWN BY: JHR
CHECKED BY: JHR

EXISTING CONDITIONS PLAN

ROYAL FARMS #323
PREPARED FOR:
7 CORPORATE CENTER CT
MAP-0114 GRID: 0024 PARCEL: 4566
MARYLAND
WESTMINSTER

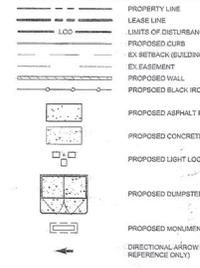
SHEET NUMBER
2 OF 16



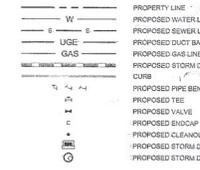
DEVELOPMENT SUMMARY

PREMISES ADDRESS: CORPORATE CENTER COURT WESTMINSTER, MD 21197
MAP: 0114 GRID: 0024 PARCEL: 4966
EXISTING SITE AREA: 116,736 SQ. FT. (5.3 AC)
EXISTING USE: UNDEVELOPED
PROPOSED SITE AREA: 115,886 SQ. FT. (5.27 AC)
PROPOSED USE: CONVENIENCE STORE, FUEL PUMPS
ZONING DATA: P4 PLANNED INDUSTRIAL ZONE
EXISTING PROPOSED: P4 PLANNED INDUSTRIAL ZONE
PARKING REQUIRED: 1 SPACE PER 200 SQ. FT. 4,594 SQ. FT. PROPOSED = 23 SPACES REQUIRED
COMMERCIAL USE: 1 SPACE PER 200 SQ. FT. 4,594 SQ. FT. PROPOSED = 23 SPACES REQUIRED
LOADING: 0 LOADING SPACES AS BUILDING IS SMALLER THAN 10,000 SF
HANDICAPPED: 3 SPACES PER 51-75 SPACES
PARKING PROPOSED: 23 SURFACE PARKING SPACES INCLUDING 3 HANDICAP SPACES
LOADING: 0 SPACE
SETBACK REQUIREMENTS: FRONT: 60' SIDE: 50' REAR: 30'
PROPOSED STORE MODEL: RECON 'N' (L67), 61,614 SF

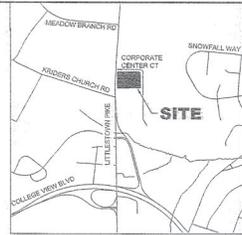
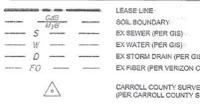
SITE PLAN LEGEND



UTILITY LEGEND



EX CONDITIONS LEGEND

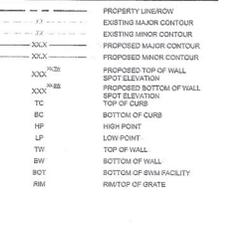


VICINITY MAP
SCALE: 1" = 1,000'

SURVEY LEGEND



GRADING PLAN LEGEND



CITY OF WESTMINSTER STANDARD GENERAL NOTES FOR PUBLIC WATER & SEWER SERVICE CONNECTIONS

1. THE INSTALLATION OF SERVICE CONNECTIONS WITHIN THE LIMITS OF PUBLICLY OWNED RIGHTS-OF-WAY OR EASEMENTS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS FOR THE CITY OF WESTMINSTER. THIS WORK IS SUBJECT TO INSPECTION AND ACCEPTANCE BY THE CITY OF WESTMINSTER.
2. THE CONTRACTOR SHALL HAVE A CURRENT COPY OF THE CITY OF WESTMINSTER "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITY STRUCTURES, ROADS AND STORM DRAINAGE" AND SHALL ADHERE TO ALL THESE DURING HIS OPERATIONS.
3. THE CONTRACTOR SHALL NOTIFY THE CITY OF WESTMINSTER "DEPARTMENT OF PUBLIC WORKS" AT 410-688-5522 AT LEAST 5 DAYS IN ADVANCE OF STARTING SERVICE CONNECTION INSTALLATIONS, AND SHALL NOT INTERRUPT EXISTING WATER OR SEWER SERVICE WITHOUT FIRST OBTAINING PERMISSION FROM THE DEPARTMENT.
4. THE CONTRACTOR SHALL NOTIFY HIS ENGINEER WHEN PROPOSING FIELD ADJUSTMENTS TO THE TYPE, SIZE, OR LOCATION OF THE SERVICE CONNECTIONS SPECIFICALLY SHOWN ON THE PLAN. THE CONTRACTOR SHALL OBTAIN FINAL APPROVAL FROM THE CITY INSPECTOR PRIOR TO COMMENCING WORK ON ANY FIELD CHANGES INVOLVING PUBLIC SERVICE CONNECTIONS.
5. THE CONTRACTOR SHALL CONTACT THE UTILITY AT 410-627-7777 IN ADVANCE OF THE INSTALLATION OPERATIONS. IF THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL UTILITY OWNERS HAVE EXISTING LINES TO THE AREA ARE PROPERLY NOTICED.
6. THE LOCATIONS OF EXISTING UTILITY LINES SHOWN IN THESE PLANS IS APPROXIMATE ONLY, AND THE CONTRACTOR MUST VERIFY THE LOCATIONS TO HIS OWN SATISFACTION. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT AGAINST DAMAGE TO EXISTING LINES, AND SHALL BE SOLELY RESPONSIBLE FOR THE COST OF REPAIRS INCURRED BY HIS OPERATION.

CONCEPT SITE PLAN
SCALE: 1" = 30'



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811
IT'S THE LAW! DIAL 811
 Know what's below. Call before you dig.

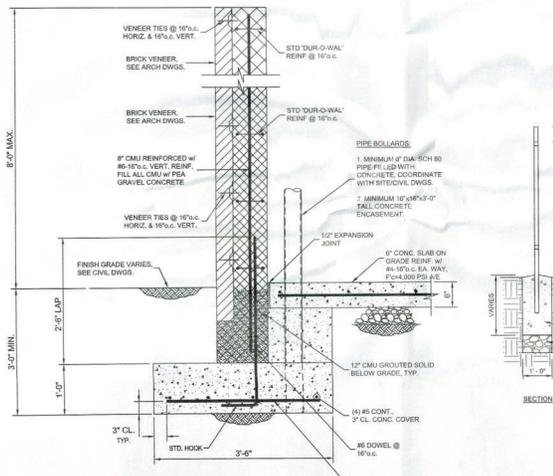
PROJECT NO. 2019-001
 DATE 11/19/2019
 SCALE AS SHOWN
 DESIGNED BY JLN
 DRAWN BY JLN
 CHECKED BY JDS
 PREPARED FOR
ROYAL FARMS #323
7 CORPORATE CENTER CT
 MAP: 0114 GRID: 0024 PARCEL: 4966
 WESTMINSTER, MARYLAND
Kimley»Horn
 © 2019 KIMLEY-HORN AND ASSOCIATES, INC.
 1001 FOSTER ST., SUITE 401, BALTIMORE, MD 21230
 PH: 410-528-7470
 FAX: 410-528-7470
 WWW.KIMLEY-HORN.COM
 PROFESSIONAL CERTIFICATION: JLN
 11-19-19
 SHEET NUMBER
4 OF 16



ROYAL FARMS
RECON Prototype Rendered Perspective

RATCLIFFE
ARCHITECTS

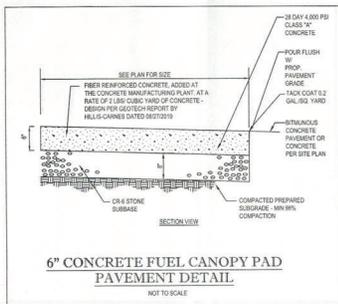
01 RECON PROTOTYPE RENDERING
N.T.S.



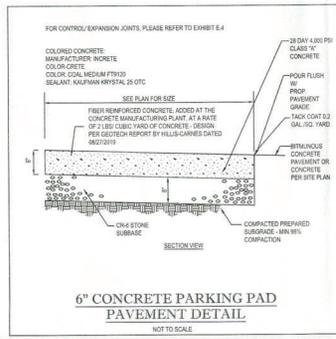
METAL PICKET FENCE
N.T.S.

NOTE:
1) FOOTING DEPTH SUBJECT TO LOCAL CODES AND CONDITIONS
2) NOT FOR CONSTRUCTION

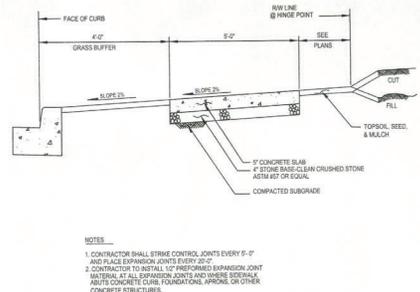
DUMPSTER ENCLOSURE WALL & SLAB DETAIL
NOT TO SCALE



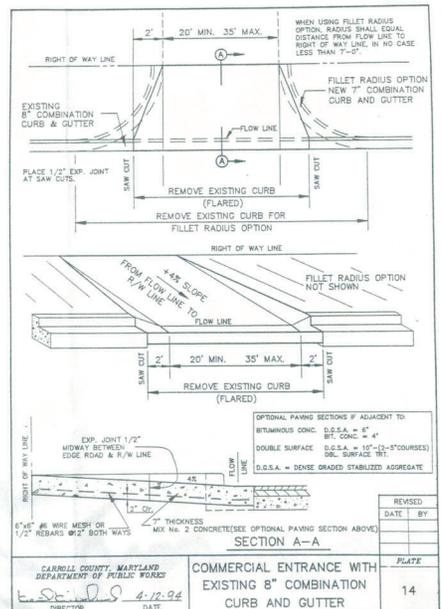
6" CONCRETE FUEL CANOPY PAD PAVEMENT DETAIL
NOT TO SCALE



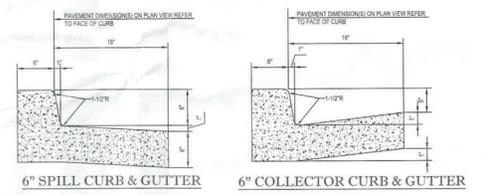
6" CONCRETE PARKING PAD PAVEMENT DETAIL
NOT TO SCALE



5" CONCRETE SIDEWALK
Not to Scale



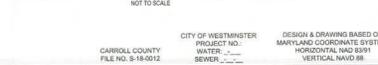
6" CONCRETE CURB & GUTTER DETAIL
NOT TO SCALE



6" SPILL CURB & GUTTER **6" COLLECTOR CURB & GUTTER**

NOTES:
1. CONCRETE FOR CURBS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 P.S.I. @ 28 DAYS
2. CONSTRUCTION FINISHING FOR CURB INSTALLATION SHALL BE REFERENCED OUT OR FILL TO THE TOP OF CURB
3. AT CONTRACTOR'S OPTION, THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER CONTIGUOUS WITH BOTTOM OF ASPHALT PAVEMENT.
4. CONTRACTION JOINTS SHALL BE PLACED @ 10'-0" O.C. TOOLS @ 1/4" MIN. WIDE, 1" DEEP. EXPANSION JOINTS SHALL BE PLACED @ 40'-0" INTERVALS, MAXIMUM, AND ALL P.S.I.'S.

STANDARD ASPHALT PAVEMENT DETAIL
NOT TO SCALE



STANDARD ASPHALT PAVEMENT DETAIL
NOT TO SCALE

CITY OF WESTMINSTER
PROJECT NO. WATER
SEWER
DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM HORIZONTAL AND BURN VERTICAL NAVD 83

Kimley-Horn
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1801 FORTER ST. SUITE 400, BALTIMORE, MD 21202
WWW.KIMLEY-HORN.COM



PROFESSIONAL CERTIFICATION HEREBY ISSUED BY THE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS OF MARYLAND UNDER THE LAWS OF THE STATE OF MARYLAND.
EXPIRES DATE: 11/19/27

PROJECT NO. 11/19/2019
SCALE AS SHOWN
DESIGNED BY JPH
DRAWN BY JPH
CHECKED BY JPH
DATE: 11-19-19

SITE DETAILS

ROYAL FARMS #323
PREPARED FOR
7 CORPORATE CENTER CT
MAP: 0114 GRID: 0024 PARCEL: 4986
WESTMINSTER MARYLAND

SHEET NUMBER
5 OF 16

CALL 48 HOURS BEFORE YOU DIG
IT'S THE LAW! DIAL 811
Know what's below. Call before you dig.

DIESEL

1'-11" (height)
10'-3" (width)

GENERAL NOTES:

- DETAILS SHOWN HEREON WERE PREPARED BY RATCLIFF ARCHITECTS AND ARE FOR ILLUSTRATION/ENTITLEMENT PURPOSES ONLY. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION INFORMATION.
- SHOP DRAWINGS SHALL BE SUPPLIED AT TIME OF PERMIT APPLICATION AND PRIOR TO PERMIT ISSUANCE TO THE REVIEWING AND APPROVING AGENCY.
- ALL DETAILS SHOWN HEREON THESE PLANS SHALL BE BUILT TO MANUFACTURERS/ARCHITECTS SPECIFICATIONS.
- EQUIVALENT SUBSTITUTIONS FOR DETAILS PROVIDED IN THESE PLANS SHALL BE PERMITTED WHEN APPROVED BY THE OWNER/OWNERS REPRESENTATIVE, KIMLEY-HORN, ARCHITECT, AND THE CITY OF WESTMINSTER.
- REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION INFORMATION.

TOTAL SIGN SQUARE FOOTAGE: 19.6

5A PROPOSED DIESEL FUEL SIGN - SITE
SCALE: NOT TO SCALE



PROPOSED SQUARE FOOTAGE: 37.85 SQ. FT. EACH
ILLUMINATION: LED, INTERNALLY LIT, INDIVIDUALLY-MOUNTED LETTERS

5 PROPOSED FUEL CANOPY SIGN
SCALE: NOT TO SCALE



NOTES:
1. INTERNALLY LIT, INDIVIDUALLY MOUNTED LETTERS
2. TOTAL SIGN SQUARE FOOTAGE: 37.85 S.F.
3. ONE SIGN TO BE BUILDING MOUNTED

2 BUILDING SIGN-CHANNEL LETTERS
SCALE: NOT TO SCALE



FONT: COPPERPLATE GOTHIC BOLD
COLOR: ROYCROFT COPPER RED
NOTE: FIRST LETTER OF EACH WORD ARE UPPERCASE, ALL OTHER LETTERS ARE LOWERCASE.
TOTAL SIGN SQUARE FOOTAGE: 11.75

2A BUILDING SIGN-FRESH KITCHEN LETTERS @ FRONT TRELLIS
SCALE: NOT TO SCALE

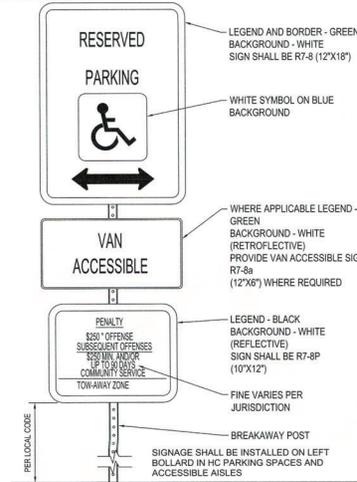


FONT: COPPERPLATE GOTHIC BOLD
COLOR: ROYCROFT COPPER RED
NOTE: FIRST LETTER OF EACH WORD ARE UPPERCASE, ALL OTHER LETTERS ARE LOWERCASE.
TOTAL SIGN SQUARE FOOTAGE: 4.41

2A* BUILDING SIGN-FRESH KITCHEN LETTERS @ REAR ENTRY CANOPY
SCALE: NOT TO SCALE



1 PROPOSED PYLON SIGN - SITE
SCALE: NOT TO SCALE

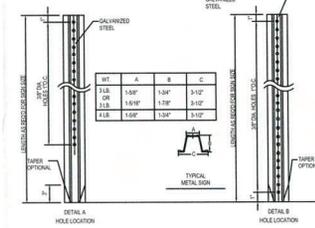


- NOTE:
- SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - SIGNS ATTACHED WITH ACORN NUT TYPE FASTENERS.

6 ACCESSIBLE PARKING SIGN
SCALE: NOT TO SCALE

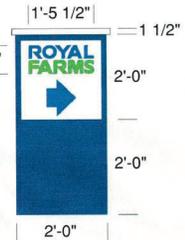


7 PUMP DESIGNATOR BLADE DESIGN
SCALE: NOT TO SCALE

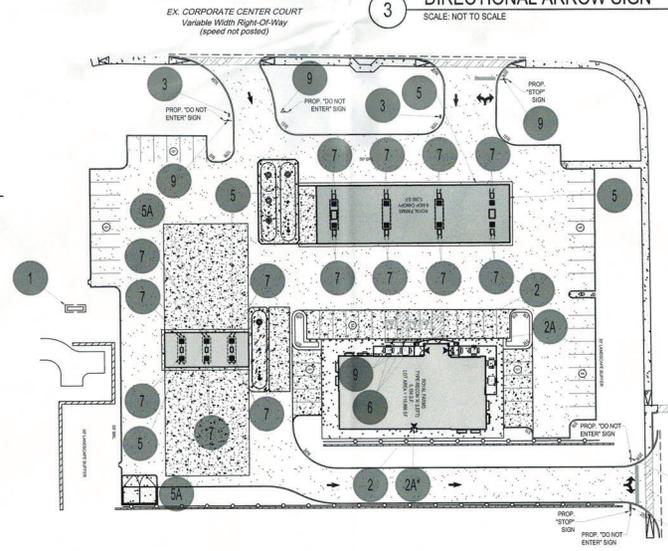


- NOTE:
- STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 501 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A 518 CARBON STEEL, THE SIGN HAVING NORMAL HEIGHT OF 1/2" OR GREATER PIPE LINEAR FOOT.
 - AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A 123.
 - SIGN MOUNTING HEIGHT TO BE PER MUTCD REQUIREMENTS.
 - ALL SIGN POSTS SHALL HAVE STRENGTH FEATURES THAT MEET ALL MUTCD REQUIREMENTS CONTAINED IN "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS". THE "STRENGTH" FEATURES SHALL BE STRUCTURALLY ADAPTED TO JOIN THE SIGN POSTS TO THE PLANS AND TO BE BUILT USING LOGICALLY DETAILATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

9 TYPICAL METAL SIGN POST DETAIL
SCALE: NOT TO SCALE



3 TOTAL SIGN SQUARE FOOTAGE: 1 DIRECTIONAL ARROW SIGN
SCALE: NOT TO SCALE



KEY MAP
SCALE: 1/4" = 1'

CORROLL COUNTY FILE NO. S-18-0012
CITY OF WESTMINSTER PROJECT NO.: WATER SEWER
DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: HORIZONTAL NAD 83 VERTICAL NAVD 83

ROYAL FARMS #323
PREPARED FOR
7 CORPORATE CENTER CT
MAP: 0114 GRID: 0024 PARCEL: 4986
WESTMINSTER MARYLAND

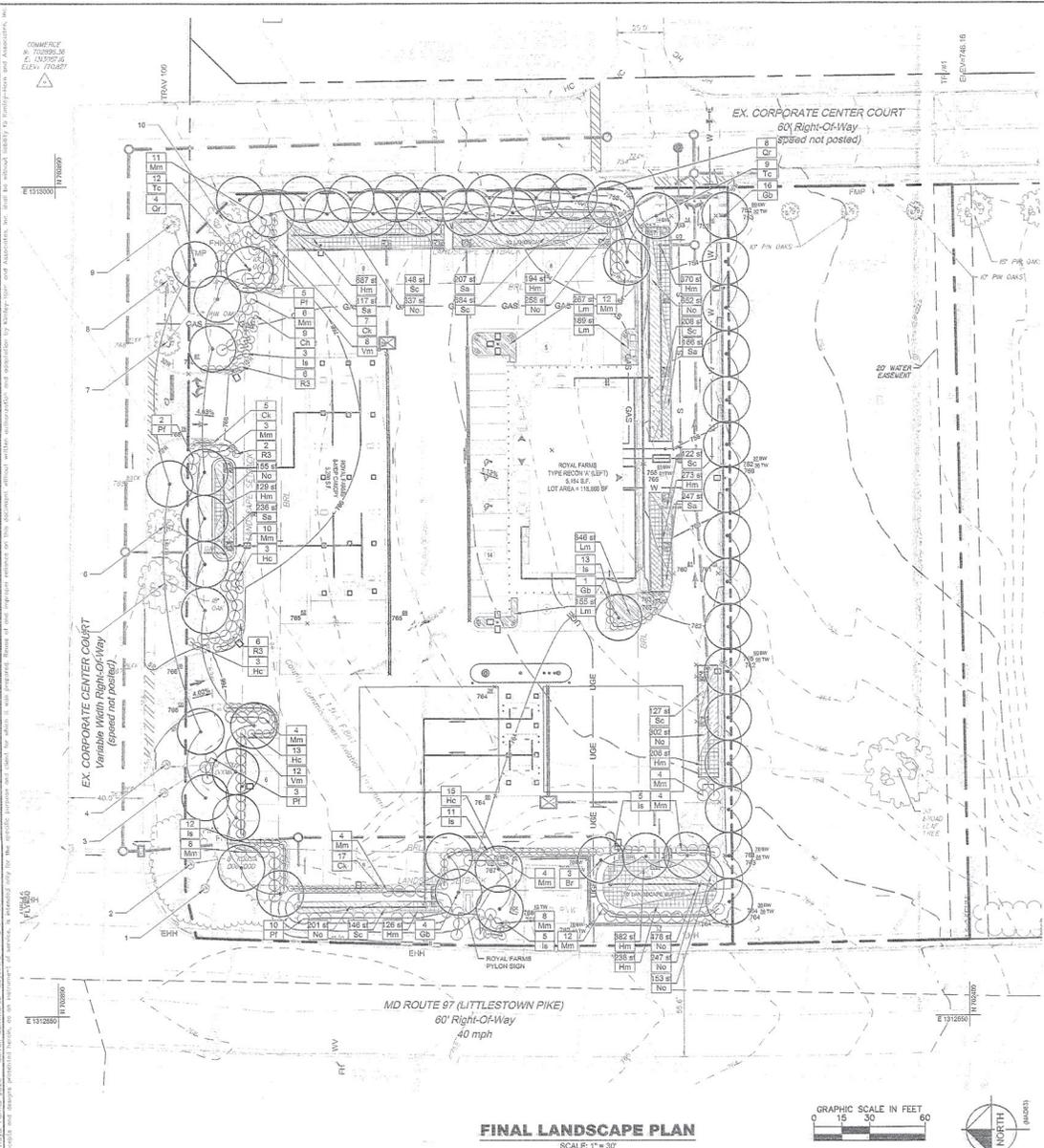
Kimley-Horn
© 2019 KIMLEY-HORN AND ASSOCIATES, INC.
1800 POWERS ST., SUITE 400, BALTIMORE, MD 21202
PHONE: 443-762-2320
WWW.KIMLEY-HORN.COM

PROFESSIONAL CERTIFICATION (HEREBY ISSUED BY THE STATE ENGINEERING BOARD) PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER OR ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
DATE OF EXPIRATION: 12/31/2021

DATE: _____
REVISIONS: _____
NO. _____

SIGN DETAILS

SHEET NUMBER
7 OF 16



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CAL SIZE	CAL / EDE	REMARKS
Bt	21	Betula nigra	River Birch	2 1/2"	B & B	
Gr	12	Quercus rubra	Red Oak	2 1/2"	B & B	
Qr	21	Quercus rubra	Red Oak	2 1/2"	B & B	

SURVEY LEGEND

---	PROPERTY LINE
---	EX SETBACK (BUILDING/LANDSCAPE)
---	EX EXISTING
---	EX MAJOR CONTOUR
---	EX MINOR CONTOUR
---	EX STORM
---	EX SANITARY SEWER
---	EX WATER
---	EX UNDERGROUND ELECTRIC
---	EX OVERHEAD ELECTRIC
---	EX FIBER OPTICS
---	EX GAS
---	EX STORM MANHOLE
---	EX INLET
---	EX SANITARY MANHOLE
---	EX WATER VALVE
---	EX WATER MANHOLE
---	EX FIRE HYDRANT
---	EX ELECTRIC POLE
---	EX ELECTRIC MANHOLE
---	EX LIGHT POLE
---	EX TELECOMM MANHOLE
---	EX GAS VALVE
---	EX TRIP
---	EX SIGN
---	EX VEGETATION LINE
---	HYDROLOGICAL SOIL GROUP "B"

SITE PLAN LEGEND

---	PROPERTY LINE
---	LEASE LINE
---	LIMIT OF DISTURBANCE
---	PROPOSED CURB
---	EX SETBACK (BUILDING/LANDSCAPE)
---	EX EXISTING
---	PROPOSED WALL
---	PROPOSED IRON FENCE
---	PROPOSED ASPHALT PAVEMENT
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED LIGHT LOCATION
---	PROPOSED DUMPSTER
---	PROPOSED MONUMENT SIGN
---	DIRECTIONAL ARROW (FOR REFERENCE ONLY)

GRADING PLAN LEGEND

---	PROPERTY LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED TOP OF WALL
---	PROPOSED BOTTOM OF WALL
---	PROPOSED TOP OF CURB
---	PROPOSED BOTTOM OF CURB
---	TOP OF WALL
---	BOTTOM OF WALL
---	BOTTOM OF BWM FACILITY
---	RAILTOP OF GRAVE

UTILITY LEGEND

---	PROPERTY LINE
---	PROPOSED WATER LINE
---	PROPOSED REVERSE LINE
---	PROPOSED DUCT BANK
---	PROPOSED GAS LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED CURB
---	PROPOSED PIPE BENDS
---	PROPOSED TEE
---	PROPOSED VALVE
---	PROPOSED ENDCAP
---	PROPOSED CLEANOUT
---	PROPOSED STORM DRAIN INLET
---	PROPOSED STORM DRAIN MANHOLE

EX CONDITIONS LEGEND

---	LEASE LINE
---	SOIL BOUNDARY
---	EX SEWER (PER GIS)
---	EX WATER (PER GIS)
---	EX STORM DRAIN (PER GIS)
---	EX FIBER (PER VERIZON COORDINATE)

LANDSCAPE LEGEND

---	PROPERTY LINE
---	EX ADJACENT PROPERTY LINE
---	EX CURB
---	EX WATER (PER GIS)
---	PROPOSED LIGHT
---	PROPOSED MAJOR DECIDUOUS TREE (100 SQUARE FEET AREA PER TREE)
---	PROPOSED SMALL SHRUB
---	Ss (THREE SQUARE BULLRUSH)
---	Hh (ROSE HAWLLOW)
---	Nh (WATERCRESS)
---	Ss (LIZARD'S TAIL)
---	Lh (LIZARD TURT)

MODIFICATION REQUEST

- 1864118: ALTERNATIVE COMPLIANCE TO ALLOW PERISHABLES AND DECIDUOUS TREES IN LIEU OF ONE 2 1/2" CALIBER TREE PER 360 SF OF ISLAND. ISLANDS NEAREST TO THE PROPOSED BUILDING CONTAIN FULL OFF LED LIGHTS AND THE BUILDING HAS WALL MOUNTED CAMERAS FOR SAFETY. IT IS NOT POSSIBLE TO PROVIDE TREES IN THESE ISLANDS.
- 884718: 8'8" x 11'4" ACCESS AND LOADING ALTERNATIVE COMPLIANCE REQUESTED TO NOT PROVIDE A LOADING BERM. THE PROPOSED BUILDING IS 5'14" AND DOES NOT REQUIRE A LOADING AREA FOR DELIVERIES. DELIVERIES ARE RECEIVED DURING OFF PEAK HOURS BY PANEL TRUCKS THROUGH THE FRONT DOORS.
- 1644918: (b) A MODIFICATION/ALTERNATIVE COMPLIANCE IS REQUESTED FOR #16449 B.D. THE REQUEST IS TO ALLOW NO BERM ALONG THE MD ROUTE 97 (LITTLESTOWN PIKE) ROAD FRONTAGE. THE BERM IS NOTABLE TO BE PROVIDED DUE TO THE EXISTING VERIZON EASEMENT AND EQUIPMENT AS WELL AS THE NECESSARY STORMWATER MANAGEMENT FACILITIES. THE PROPOSED BIO RETENTION FACILITIES WILL BE PLANTED TO THE EXTENT PRACTICAL, BUT DO NOT MEET THE PROPOSED REQUIREMENTS OF ONE 2 1/2" CALIBER TREE PER 360 FEET.
- V.G.1.D: REQUEST FOR ALTERNATIVE COMPLIANCE TO ALLOW SHRUBS AND GROUND COVER IN LIEU OF THE REQUIRED 75% OF PLANTING UNITS MUST BE TREES. PLAN PROVIDES:

LANDSCAPE CERTIFICATION

"I CERTIFY THAT THIS LANDSCAPE PLAN IS CONSISTENT WITH THE GOAL AND INTENT OF AND COMPLIES WITH THE CITY OF WESTMINSTER LANDSCAPE MANUAL AND MEETS ALL APPLICABLE POLICIES, GUIDELINES, AND ORDINANCES."

SIGNATURE OF LANDSCAPE ARCHITECT: *[Signature]* DATE: 10/22/2019

SIGNATURE OF OWNER: *[Signature]* DATE: 10/22/19

"I CERTIFY THAT THIS LANDSCAPE PLAN IS CONSISTENT WITH THE GOAL AND INTENT OF AND COMPLIES WITH THE CITY OF WESTMINSTER LANDSCAPE MANUAL AND MEETS ALL APPLICABLE POLICIES, GUIDELINES AND ORDINANCES AND AGREE TO IMPLEMENT THE FINAL LANDSCAPE PLAN SHOWN HEREIN WITHIN ONE YEAR OF OCCUPANCY."

SIGNATURE OF OWNER: *[Signature]* DATE: 10/22/19

THE FARMERS INC.
3011 Roland Ave.
Baltimore, Md. 21211

GENERAL NOTES:

- 1) PRIOR TO ANY CONSTRUCTION START, SUPER SILT FENCE WILL BE INSTALLED AROUND EXISTING TREES MARKED ON THE LANDSCAPE PLAN AS (T-10), AS WELL AS EXISTING VEGETATION ALONG CORPORATE CENTER COURT. AT THIS TIME IT IS ASSUMED THE EXISTING TREES LABELED T-10 ON THE PLAN, AS WELL AS THE ENTRANCE PLANTING WILL REMAIN.
- 2) A REQUEST IS BEING MADE TO REDUCE THE TOTAL NUMBER OF SHRUBS FROM 73 MAJOR TREES TO 30 MAJOR TREES. THERE IS NOT SUFFICIENT SPACE FOR THE ADDITIONAL TREES DUE TO LIGHTING, SECURITY AND LACK OF BORAGE FOR SUCCESSFUL GROWTH.



PROPERTY OWNER
CORPORATE CENTER LEASING, LLC
COLLEGE CHESTER/ANNE ARBOR PROPERTY MANAGEMENT
9801 LAMARLE RD
SUITE 204
TOWSON, MD 21286
TEL: (410) 823-0282
EMAIL: 1000203@LEE-ASSOCIATES.COM

LANDSCAPE ARCHITECT/ CIVIL ENGINEER
KIMLEY-HORN
ATTN: JENNIFER LEONARD, P.L.A. / MELANIE DEFAZIO, P.E.
1931 PORTER ST.
SUITE 401
BALTIMORE, MD 21202
TEL: (410) 762-3470
EMAIL: JENNIFER.LEONARD@KIMLEY-HORN.COM

ARCHITECT
RATULIFFE ARCHITECTS
1644 STEVENSON ROAD
STEVENSON, MD 21153
TEL: (410) 484-7170
EMAIL: INFO@RATULIFFEARCHITECTS.COM

DEVELOPER
ROYAL FARMS
ATTN: JACK WHESTER
3611 ROLAND AVE
BALTIMORE, MD 21211
TEL: (410) 690-0200
EMAIL: JWHESTER@ROYALFARMS.COM

SURVEYOR
HARRIS AND ASSOCIATES
ATTN: JOHN MITTET, P.L.S.
2115 EMORSON PARK ROAD
SUITE 100
ROSELAND, MD 21240
TEL: (410) 815-8800
EMAIL: JMITTET@HARRISENGINEERING.COM

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Know what's below. Call before you dig.

CITY OF WESTMINSTER
PROJECT NO.: WATER SEWER
DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM: NAD 83
VERTICAL NAVD 83

SHEET NUMBER
8 OF 16

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PHONE: 410-762-3470
WWW.KIMLEY-HORN.COM

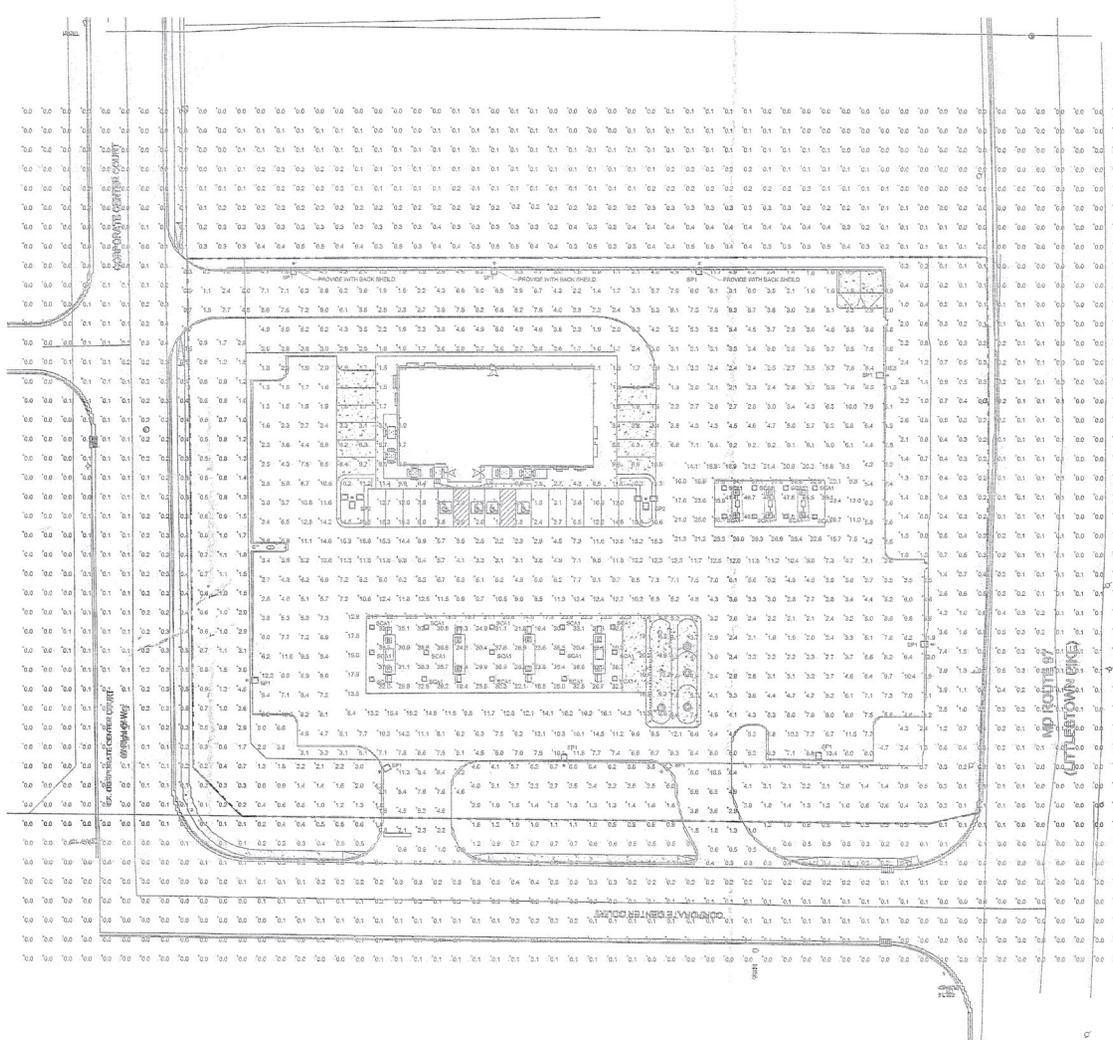


PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS LANDSCAPE PLAN WAS PREPARED OR APPROVED BY ME, AND THAT I AM A duly Licensed Professional Landscape Architect under the laws of the State of Maryland.
DATE: 10/22/2019

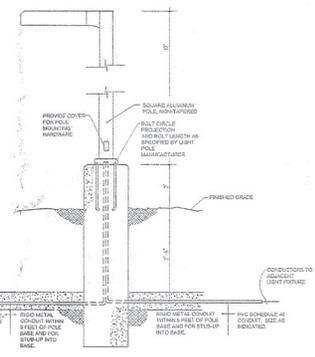
FINAL LANDSCAPE PLAN

ROYAL FARMS #323
PREPARED FOR
7 CORPORATE CENTER CT
MAP-0114 GRID: 0024 PARCEL: 6566
MARYLAND
WESTMINSTER

DATE: 11/19/2019
SCALE: AS SHOWN
DESIGNED BY: JHL
DRAWN BY: JHL
CHECKED BY: JHL



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Diesel Canopy	+	43.4 fc	47.5 fc	35.0 fc	1.4:1	1.2:1
Fuel Canopy	+	30.3 fc	39.3 fc	19.1 fc	2.1:1	1.6:1
Parking Area	+	5.4 fc	15.6 fc	0.8 fc	19.5:1	6.8:1
Spill Lighting	+	0.3 fc	0.9 fc	0.0 fc	N/A	N/A



1 POLE BASE DETAIL
NOT TO SCALE

3 SITE PLAN - LIGHTING CALCULATIONS
SCALE: 1"=30'-0"

Symbol	Label	Quantity	Manufacturer	Quantity Number	Description	Label	Number Lamps	Wattage Per Lamp	Light Loss Factor	Storage	Mounting Height
□	SCA1	25	SI LITE CO LTD	QLED14-2-PORCH-DRN	CANOPY	LED 100W	1	100	110:1	110'	10'
□	SP1	10	BEACON PRODUCTS	VFL-4598-230-80-34	LARGE VFR	C-FLOOR DATA SHOWN & SCALED FROM 300"	1	300	10:1	300'	19'
□	SP3	2	BEACON PRODUCTS	VFL-6998-230-80-34	LARGE VFR	C-FLOOR DATA SHOWN & SCALED FROM 1400"	1	1400	10:1	1400'	19'

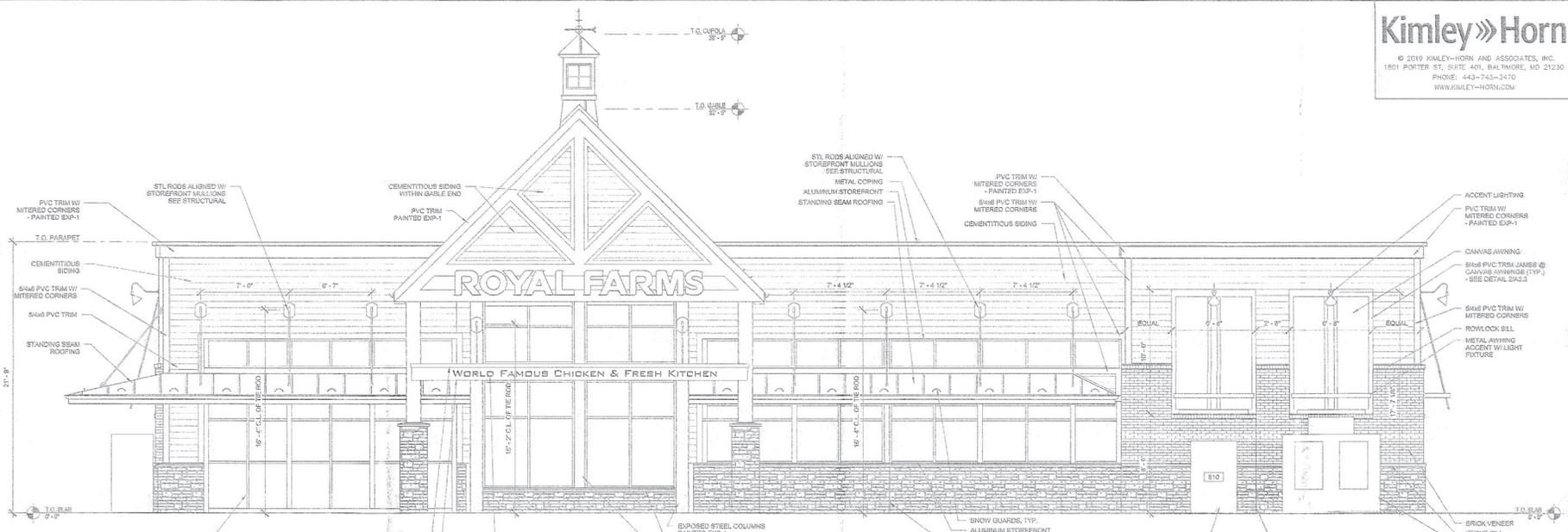
RATCLIFFE ARCHITECTS
1000 North Street, Suite 1000, Baltimore, Maryland 21201
Tel: 410.528.1000
Fax: 410.528.1001
www.ratcliffearchitects.com

ROYAL FARMS
CARROLL COMMERCE CENTER
WESTMINSTER, MD 21157
STORE #323

TITLE BLOCK	REVISED =	
KEY	NOT REVISION =	
#	REVISION DATE	CONTENT

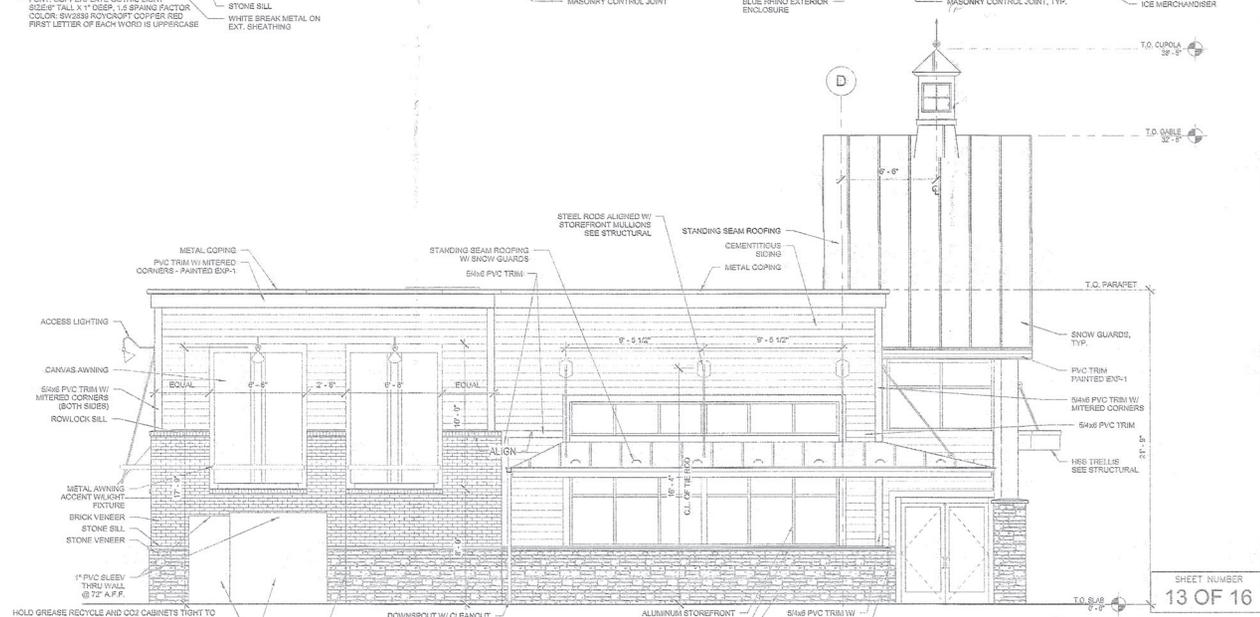
SCALE: NOTED
DRAWN BY: BET

LC1.1



1 FRONT ELEVATION
SCALE = 1/4" = 1'-0"

- NOTE:**
1. PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT TO MATCH ADJACENT MATERIALS.
 2. SEE CIVIL PLANS FOR DETAILED GRADING INFORMATION.
 3. SEE SHEET A6.1 FOR EXTERIOR FINISH SCHEDULE.



2 RIGHT ELEVATION
SCALE = 1/4" = 1'-0"

ELEVATIONS

#	REVISED DATE	CONTENT
		PERMIT SET
		CONSTRUCTION SET

SCALE 1/4" = 1'-0"
DRAWN BY ALD

SHEET NUMBER
13 OF 16

A2.0

ELEVATIONS

#	REVISED DATE	CONTENT
		PERMIT SET
		CONSTRUCTION SET

SCALE 1/4" = 1'-0"
DRAWN BY RW

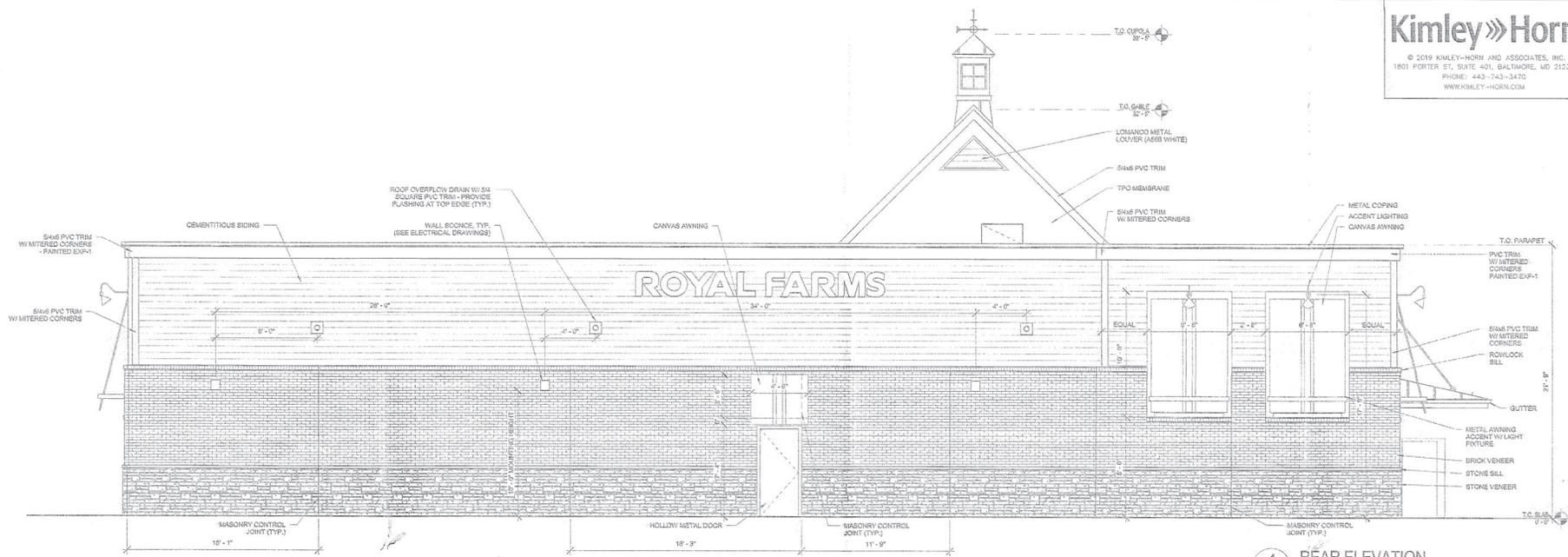
THESE DOCUMENTS ARE PRELIMINARY AND ARE NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

A2.1

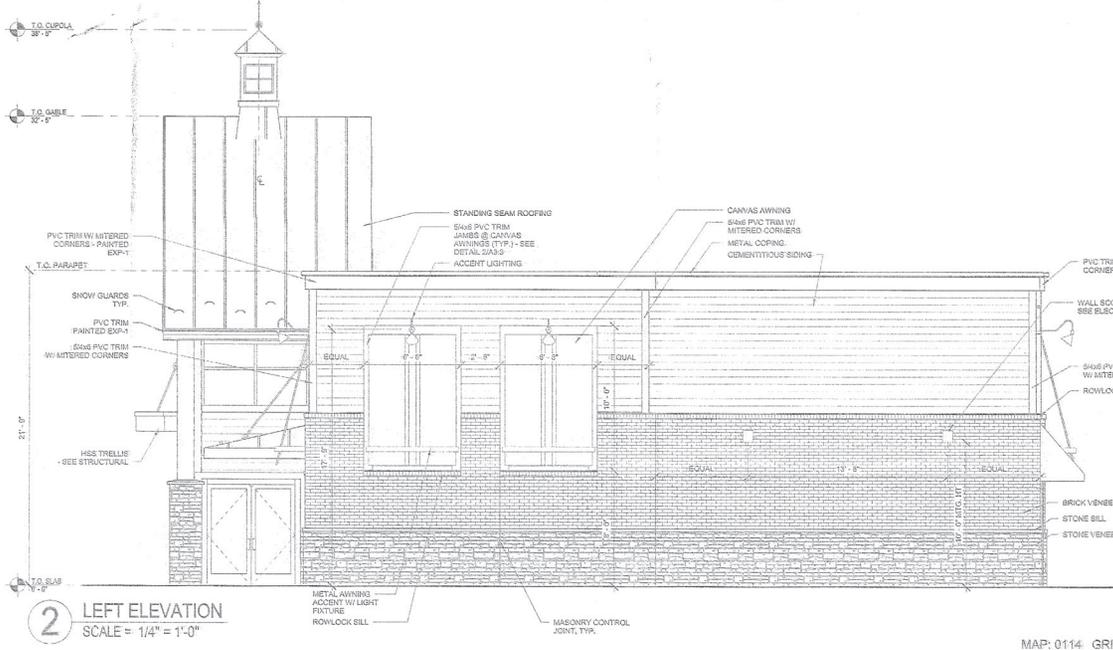
SHEET NUMBER
14 OF 16

MAP: 0114 GRID: 0024 PARCEL: 4966

- NOTE:**
1. PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT TO MATCH ADJACENT MATERIALS.
 2. SEE CIVIL PLANS FOR DETAILED GRADING INFORMATION.
 3. SEE SHEET A6.1 FOR EXTERIOR FINISH SCHEDULE.



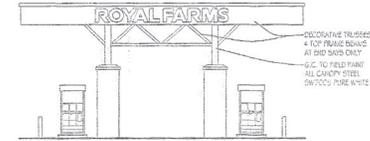
1 REAR ELEVATION
SCALE = 1/4" = 1'-0"



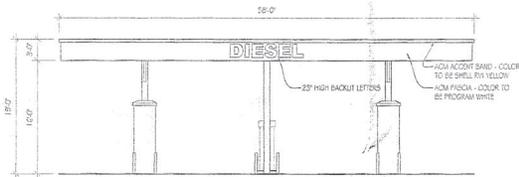
2 LEFT ELEVATION
SCALE = 1/4" = 1'-0"



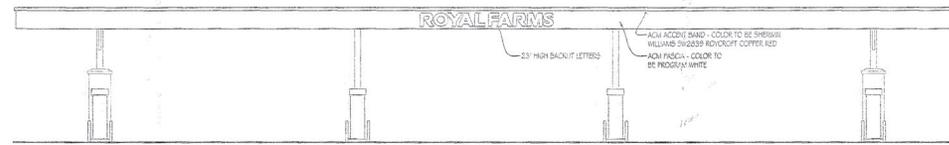
4 DIESEL CANOPY SIDE ELEVATION
1/8" = 1'-0"



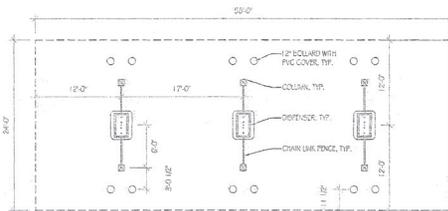
3 FUEL CANOPY SIDE ELEVATION
1/8" = 1'-0"



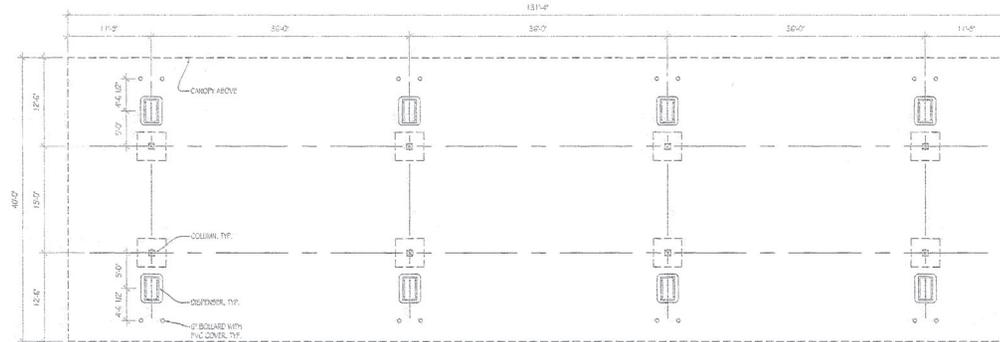
5 DIESEL CANOPY FRONT ELEVATION
1/8" = 1'-0"



2 FUEL CANOPY FRONT ELEVATION
1/8" = 1'-0"



6 DIESEL CANOPY PLAN
1/8" = 1'-0"



1 FUEL CANOPY PLAN
1/8" = 1'-0"

RATCLIFFE
ARCHITECTS
1000 Co. Home Blvd.
Westminster, Maryland 21157
PH: 410-381-1839 • FAX: 410-381-1838

ROYAL FARMS
CORPORATE CENTER COURT
WESTMINSTER, MD 21157
STORE #323

FUEL CANOPIES

TITLE BLOCK: REVISED = NOT REVISED =

#	REVISED DATE	CONTENT
02-04-19		PERMIT SET
		BID SET
		CONSTRUCTION SET

SCALE: NOTED
DRAWN BY: ALD

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SHEET NUMBER
16 OF 18

A8.0



Front Elevation
1/4" = 1'-0"

ROYAL FARMS

ROYAL FARMS #323
7 CORPORATE CENTER COURT
WESTMINSTER, MD
OCTOBER 17TH, 2019

RA RATCLIFFE
ARCHITECTS

10404 Stevenson Road • Stevenson, Maryland 21153
Phone: 410-484-7010 • Fax: 410-484-3819 • peter@ratcliffearchitects.com

MAP: 0114 GRID: 0024 PARCEL: 4966

SHEET NUMBER
1 OF 6



Rear Elevation
1/4" = 1'-0"

ROYAL FARMS

ROYAL FARMS #323
7 CORPORATE CENTER COURT
WESTMINSTER, MD
OCTOBER 17TH, 2019

RA RATCLIFFE
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MAP: 0114 GRID: 0024 PARCEL: 4966

SHEET NUMBER
2 OF 6



Left Side Elevation
1/4" = 1'-0"

Right Side Elevation
1/4" = 1'-0"

ROYAL FARMS

ROYAL FARMS #323
7 CORPORATE CENTER COURT
WESTMINSTER, MD
OCTOBER 17TH, 2019

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MAP: 0114 GRID: 0024 PARCEL: 4966

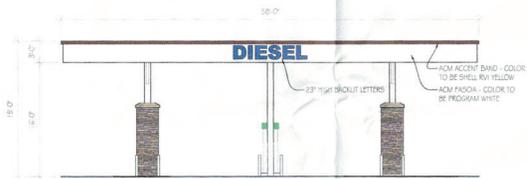
SHEET NUMBER
3 OF 6



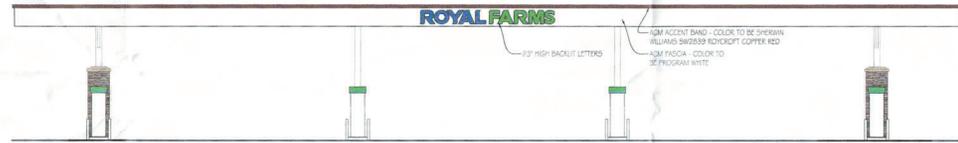
4 DIESEL CANOPY SIDE ELEVATION
1/8" = 1'-0"



2 FUEL CANOPY SIDE ELEVATION
1/8" = 1'-0"



3 DIESEL CANOPY FRONT ELEVATION
1/8" = 1'-0"



1 FUEL CANOPY FRONT ELEVATION
1/8" = 1'-0"

ROYAL FARMS

ROYAL FARMS #323
7 CORPORATE CENTER COURT
WESTMINSTER, MD
OCTOBER 17TH, 2019

RA RATCLIFFE
ARCHITECTS

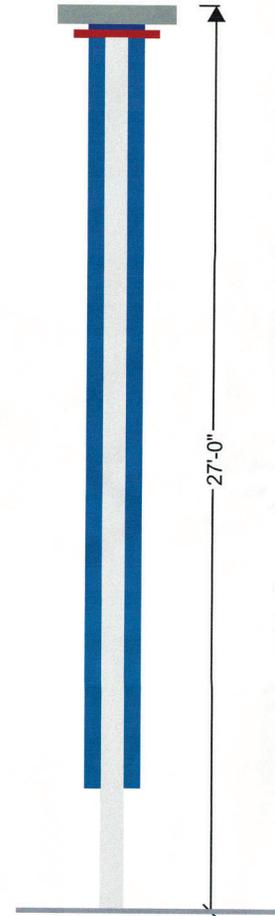
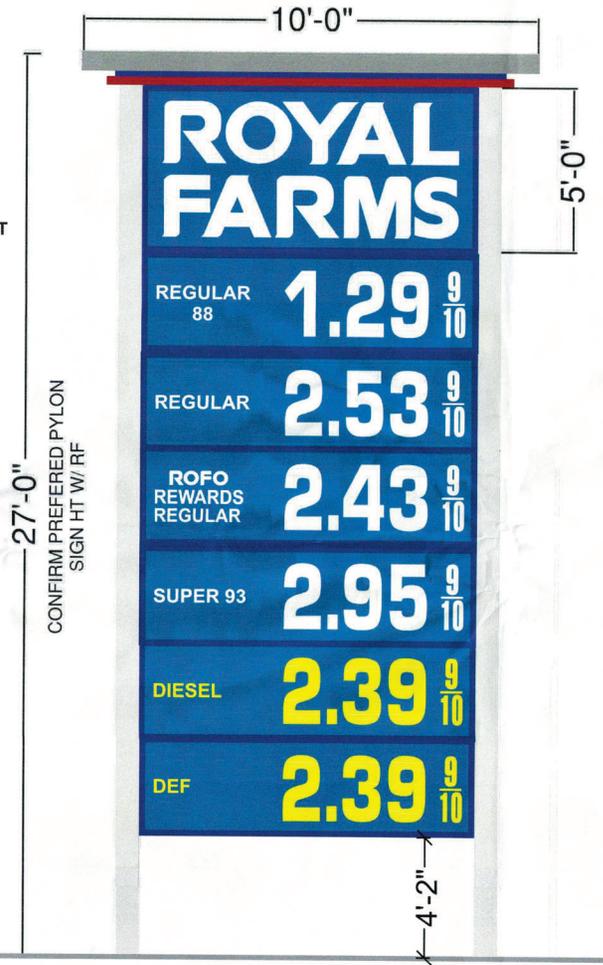
10404 Stevenson Road - Stevenson, Maryland 21153
Phone: 410-484-7010 - Fax: 410-484-3819 - peter@ratcliffearchitects.com

MAP: 0114 GRID: 0024 PARCEL: 4968

SHEET NUMBER
4 OF 6

**PYLON SIGN
SQ. FTG.**

"ROYAL FARMS" - 50 SQ. FT.
EACH PRICE CABINET = 28 SQ. FT
6 PRICE CABINETS X 28 SQ. FT
TOTAL = 218 SQ. FT.



ROYAL FARMS

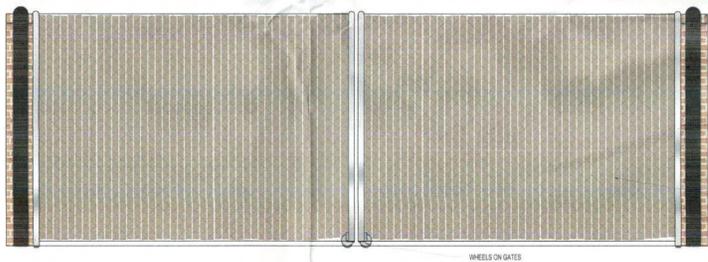
ROYAL FARMS #323
7 CORPORATE CENTER COURT
WESTMINSTER, MD
OCTOBER 17TH, 2019

RA | **RATCLIFFE**
ARCHITECTS

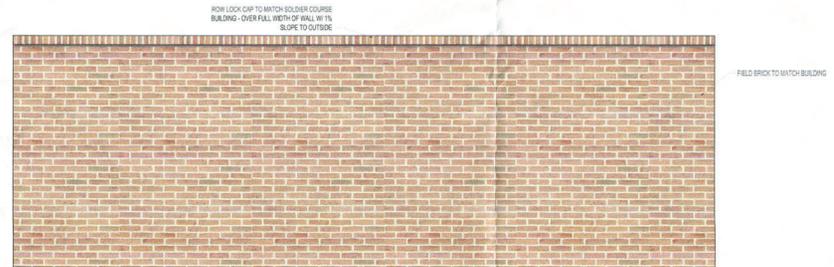
10404 Stevenson Road - Stevenson, Maryland 21153
Phone: 410-484-7010 - Fax: 410-484-3819 - peter@ratcliffearchitects.com

MAP: 0114 GRID: 0024 PARCEL: 4966

SHEET NUMBER
5 OF 6



Dumpster Enclosure - Front Elevation
 1/2" = 1'-0"



Dumpster Enclosure - Rear Elevation
 1/2" = 1'-0"

ROYAL FARMS

ROYAL FARMS #323
 7 CORPORATE CENTER COURT
 WESTMINSTER, MD
 OCTOBER 17TH, 2019

RA | **RATCLIFFE**
 ARCHITECTS

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410/848-3737
410/876-0100
FAX: 410/848-3977

December 23, 2019

Mr. Andrew Gray
Comprehensive Planner
Winchester West
56 West Main Street
Westminster, Maryland 21157
BY EMAIL & HAND DELIVERY

RE: Two Farms, Inc. BZA Pre-Hearing Statement

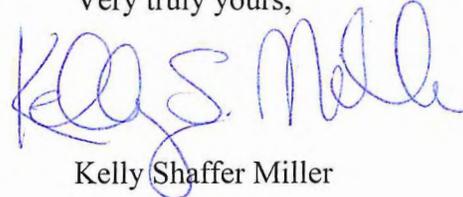
Dear Mr. Gray:

Enclosed for filing on behalf of my client, Two Farms, Inc., please find a Pre-Hearing Statement in anticipation of the upcoming BZA Hearing, along with attachments/exhibits.

Plans were submitted with the initial application, which we intend on using at the Hearing.

Thank you in advance for your prompt attention to this matter. Please do not hesitate to contact our office with any questions or concerns.

Very truly yours,



Kelly Shaffer Miller

Enclosures

Cc: File
Kimley-Horn C/O Jennifer Leonard and John Neff

Request for a variance from the landscaping requirements
At 7 Corporate Center Court, Westminster, MD 21158

PREHEARING STATEMENT

Applicant Information:

Applicant: Two Farms, Inc. c/o Jack Whisted
3611 Roland Avenue, Baltimore, MD 21211
(410) 889-0200
Counsel: Kelly Shaffer Miller
73 E. Main Street, Westminster, MD 21157
(410) 848-3737 (T); (410) 848-3977 (Fax)
kelly@shafferandshafferllp.com

Property Information:

Premises Address: 7 Corporate Center Court
Westminster, MD 21158
Property Owner: Corporate Center Leasing, LLC
c/o Lee Chesapeake Property Management
8601 Lasalle Road, Suite 204
Towson, MD 21286
Parcel Identification: Tax Map 114, Grid 24, Parcel 4966, UN 7 (as shown on a Plat
recorded in the Carroll County Land Records at Plat Book 52, Page
144 & etc.)
Zoning District: P-I Planned Industrial Zone

Compliance:

The proposed convenience store with gasoline pumps is located and designed in accordance with the requirements of Article XII, §164-3, and all other requirements of Chapter 164, Zoning & Subdivision of Land, City of Westminster Code, and the Comprehensive Plan.

Exhibits:*

1. Statement of Purpose and Justification
2. Copies of Reports, Studies, Photographs and Plans to be submitted at Hearing
3. Summary of Expert Testimony and Credentials
4. List of all witnesses who will testify
5. Estimated time for presentation

*Applicant reserves the right to supplement with related documents prior to the BZA Hearing.

Statement of Purpose and Justification:

The Applicant, Two Farms, Inc., is the lessee of the property described in the application and shown on the plans attached to the application. Two Farms, Inc. is an entity controlled by Royal Farms. Royal Farms has a long standing history of operating at numerous locations across the Country. This will be the applicant's first project within the corporate boundaries for the City of Westminster and its third project within Carroll County.

The subject property is zoned P-I Planned Industrial and is subject to a previously approved development plan in accordance with the rule and regulations set forth in §164-75. As such, the use of a convenience store with gasoline pumps is permitted on this property. The Applicant comes before this Board to request variances from the specified portions of the zoning code relating specifically to landscaping.

The Applicant is substantively through the development review process for its site development plan and finds that the landscaping requirements in the City's Code pose an unreasonable hardship to the use and development of the site.

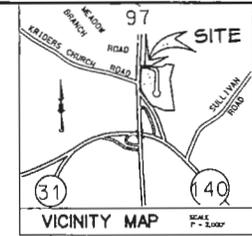
The site is located in an industrial commercial area (it is part of the development plan for what is known as the Carroll County Commerce Center) and landscape screening from Littlestown Pike/MD Route 97 can be adequately provided on an area and amount that will satisfy the intent of the landscaping provisions of the Code. To the extent the Landscaping Manual has these same requirements, relief must be requested as part of the site development plan process from the City's Planning and Zoning Commission in addition to this Board. Because of the Storm Water Management requirements, existing Verizon easement and regional Verizon facility on site, this property would be rendered virtually unusable if subject to the provisions of the Code from which relief is requested. Additionally, it is an industry standard, spurred by preservation of customer safety and security, for convenience stores with gasoline pumps to have some visibility to an adjoining public right-of-way. The landscaping as strictly required would not best protect the safety of citizens.

This project is in keeping with the Comprehensive Master Plan for the City of Westminster, which envisioned improvements to Route 97, resulting in the development and utilization of industrial land outside of "downtown." This proposed development represents a step towards the vision of the Comprehensive Plan in the sense that it represents infill development with the Growth Area Boundary for the City. Likewise, it illustrates the economic growth that was planned for and desired in the Comprehensive Plan. An approval at the proposed site would also satisfy the economic development goal of attracting and retaining business as expressed within the Comprehensive Plan. Furthermore, a use of this nature would also provide additional employment opportunities within the City.

2019 – Two Farms, Inc. BZA Application
Exhibit 2

Please see attached plans.

Ref #	A-Z Length	Date	Radius	Chord Length	Chord Bearing
G1	264.45	9/20/11	4560.00	204.41	N 0°43'20" E



Point #	North	East
624	843054.8241	800973.2188
625	841768.0243	800164.4877
626	842085.2635	800144.1375
627	842071.4184	800169.0953
628	842074.1553	800247.0001
629	841684.4104	800076.2300
630	841581.3767	800169.0977

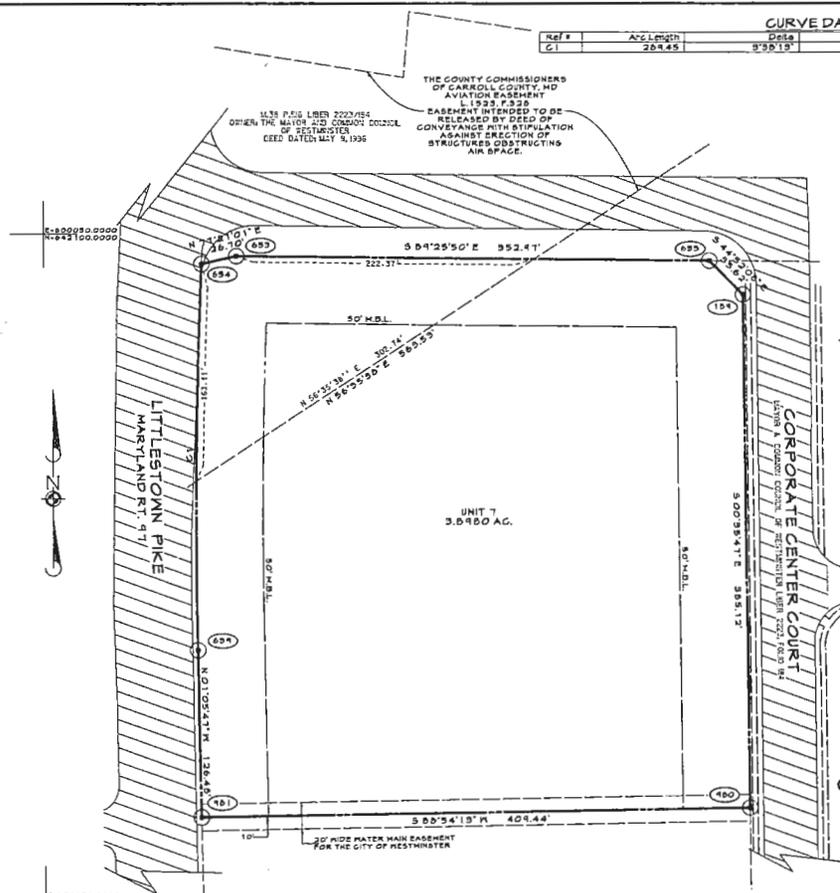
NOTE: FOR GENERAL NOTES SEE SECOND AMENDED PLAT OF FUTURE PHASE EXPANSION AREA 'A' CONDOMINIUM SUBDIVISION OF CARROLL COUNTY COMMERCE CENTER LAND CONDOMINIUM PHASE 1, SHEET 1 OF 4.

PLAT - SUBDIVISION
 TOTAL
 REVISION
 DATE
 BY
 5.00
 5.00
 8/13/11
 8/13/11
 JLS

SHEET 8 OF 9
**SECOND AMENDED PLAT OF
 FUTURE PHASE EXPANSION AREA 'A'
 CONDOMINIUM SUBDIVISION OF
 CARROLL COUNTY COMMERCE CENTER
 LAND CONDOMINIUM, PHASE 1**

PREVIOUSLY RECORDED IN PLATBOOK 52, PAGES 41-51
 11th ELECTION DISTRICT CARROLL COUNTY MD CITY OF RESTONHURST
 PREVIOUSLY RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY, MD AS CARROLL COUNTY COMMERCE CENTER IN AMENDED PLAT BOOK 055, 50 PAGES 233, 234

OWNER / DEVELOPER
 CORPORATE CENTER LEASING LLC
 R4E1, LLC
 4119 FORDLEIGH ROAD
 BALTIMORE, MD 21213



PURPOSE NOTE:
 THE PURPOSE OF AMENDING THIS PLAT IS TO DELETE PNC BANK NATIONAL ASSOCIATION AS A LIENHOLDER TO CARROLL COUNTY COMMERCE CENTER LAND CONDOMINIUM, PHASE 1.

PLATBOOK 055, PAGE 157
 DATE 5-9-11

CERTIFICATION
 ROBERT ROSEN, TO THE BEST OF HIS (THEIR) KNOWLEDGE, AND THE SURVEYOR TO THE BEST OF HIS/HER PROFESSIONAL KNOWLEDGE, AND BELIEFS, SO HEREBY CERTIFY THAT THE LAND SHOWN HEREON HAS BEEN LAYED OUT AND THE PLAT PREPARED IN COMPLIANCE WITH THE APPLICABLE SUBDIVISION ACT AND ALL OF SECTION 1-103 OF THE REAL PROPERTY ARTICLE OF THE ANNOTATED CODE OF MARYLAND (1981) AS AMENDED, PERTAINING TO THE PREPARATION OF RECORDS AND CONDOMINIUM PLANS.

OWNER'S SIGNATURE: [Signature]
 CORPORATE CENTER LEASING LLC
 BY ROBERT ROSEN, MANAGER DATE 4/29/11

DATE 4/29/11

BY: [Signature]
 SURVEYOR'S CERTIFICATION: [Signature]
 DATE 4/29/11
 PROPERTY LINE SURVEYOR REGISTRATION NO. 12844

Date - Revision - By

Scale: 1"=50'
 0 50 100
 0 50 100
 0 50 100

Surveyed By: CLS
 Computed By: CJC
 Drawn By: CDB/EP/KME
 Checked By: DEM
 Date: APRIL 14, 2011
 Drawing No.: 88107 1-000
 County File No.:



439 East Main Street Westminster, MD 21157-5539
 (410) 848-1790 FAX (410) 848-1791



James E. Mackay
 Property Line Surveyor
 Registration No. 12844
 Date: APRIL 14, 2011
 Drawing No.: 88107 1-000
 County File No.:

0101423 MSA Cm 2426 4443-B

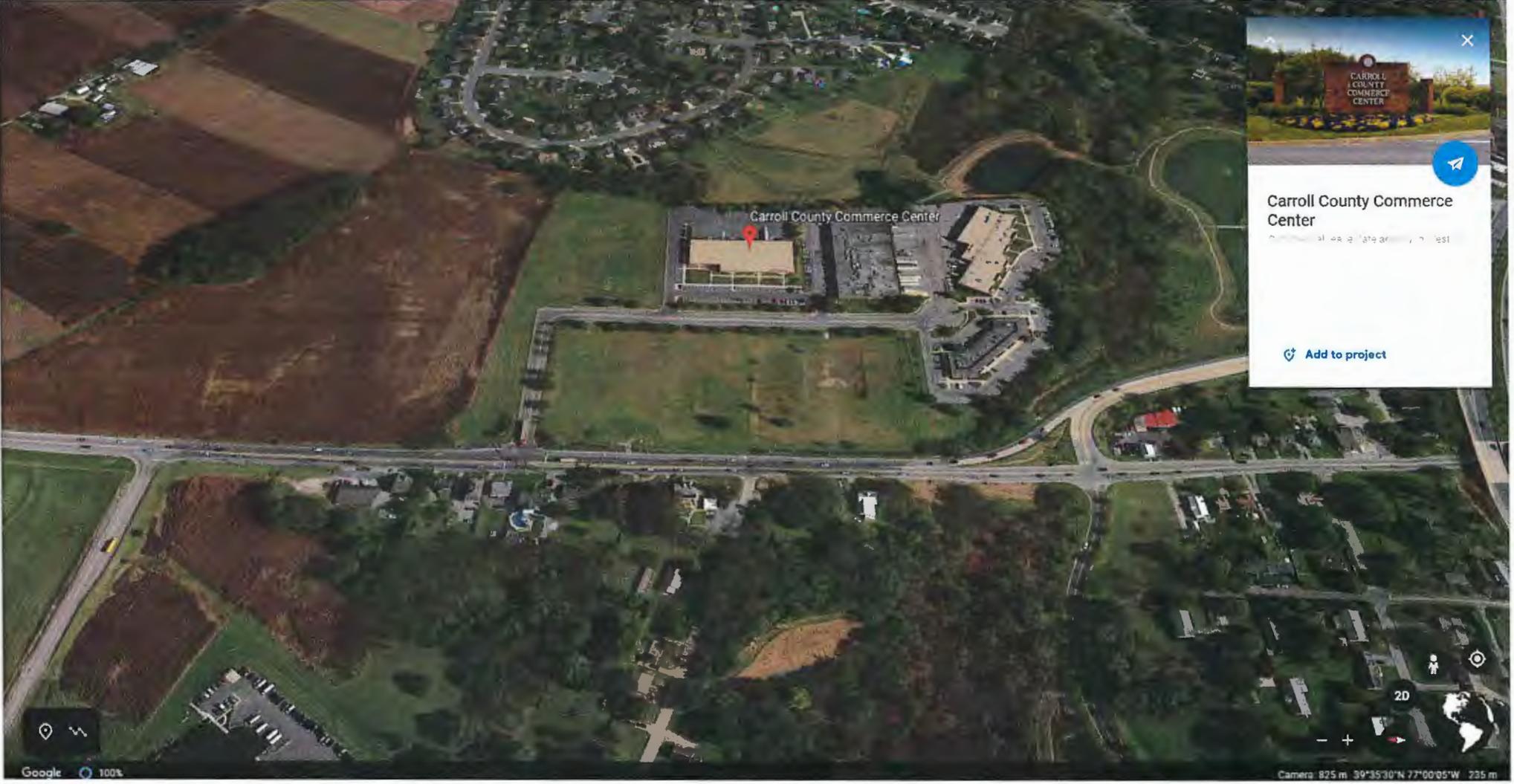
SOURCE: VICINITY MAP, LOT, COURTY, (P) 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000





Legend

- Corporate Limits**
 - - -
- Zoning Overlay**
 - Arts & Culture
 - Competible Neighborhood
 - Neighborhood Preservation
- Westminster Historic National Register District**
 - Historic_Districts
- PropertyZoning**
 - Property_Zoning
 - B
 - C
 - C-B
 - C-C
 - D-B
 - LG
 - LR
 - MUI
 - N-C
 - P-I
 - P-RSC
 - PD-4
 - PD-9
 - R-10,000
 - R-20,000
 - R-7,500
- Medical Cannabis Overlay**
 - Medical_Cannabis_Overlay



Carroll County Commerce Center

Commercial real estate project in West

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Summary of Expert Testimony and Credentials:

Mrs. Jennifer Leonard will testify on behalf of the Applicant as an expert in the field of land use design and planning. Mrs. Leonard is a Professional Landscape Architect (PLA) and is a LEED Accredited Professional (LEED AP). Mrs. Leonard is currently employed as a Practice Leader at Kimley-Horn and has over twenty (20) years of experience in all design phases of project development and coordination. She has been accepted as an expert in her field and testified in front of the State of Maryland and Planning/Zoning Boards in the following jurisdictions: Baltimore County, Baltimore City, Carroll County, Frederick County, the City of Frederick, New Market, Princes George's County, Montgomery County, Harford County, the City of Bel Air, the City of Aberdeen, the City of Havre de Grace, Cecil County, the City of Port Deposit.. She will testify to the specific characteristics related to the requested variance, the characteristics of the site, the surrounding land use, and the conformity with the City Code and Comprehensive Plan.

2019 - Two Farms, Inc. BZA Application
Prehearing Statement Exhibit 4

List of All Witnesses Who Will Testify:

- Jennifer Leonard
- Jeffrey Bainbridge

2019 - Two Farms, Inc. BZA Application
Prehearing Statement Exhibit 5

Estimated Time for Presentation:

Approximately forty five (45) minutes for our presentation.